



10

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: STEPHANIE BUBENHEIM, SENIOR PLANNER *SB*
(480) 503-6625, STEPHNIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: JUNE 3, 2020

SUBJECT: DR20-47, BUSHTEX

STRATEGIC INITIATIVE: Exceptional Built Environment

To allow for the expansion of an existing satellite transmission company.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR20-47, BushTex: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.15 acres, generally located east of the southeast corner of Cooper and Guadalupe Roads and zoned Light Industrial (LI).

APPLICANT

Company: Helmut John Hammen Architect LLC
Name: John Hammen
Address: 8337 E. Monterey Way
Scottsdale, AZ 85251
Phone: 602-758-7437
Email: helmutjohn@hotmail.com

OWNER

Company: Kamalei Properties LLC
Name: Adelaida Severson
Address: 723 W. Guadalupe Road
Gilbert, AZ 85233
Phone: 480-471-6688
Email: adeliada@bushtex.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>April 8, 1974</i>	Town Council adopted Ordinance No. 154 and annexed land into the Town of Gilbert including the subject site.
<i>Between 1969-1976</i>	The main office structure was built as a single-family residence on the subject site.
<i>Between 1976-1993</i>	Other structures are built on the property.
<i>February 23, 2011</i>	Staff approved an Administrative Design Review to update the retention on site and construct a new screen wall.
<i>April 11, 2011</i>	Staff approved an Administrative Design Review for an addition to the main office; addition was not built.
<i>April 1, 2020</i>	Planning Commission reviewed DR20-47 as a Study Session item.

Overview

The applicant is seeking approval of a new warehouse/office building on an existing industrial site operated by Bushtex, a satellite telecommunications facility. The site is 3.15 acres and is currently developed with a main office (previously a single-family house), a modular office building, storage building, and metal warehouse building used for satellite repairs. The applicant is redesigning the site to demolish all buildings aside from the main office to build a new 17,595 square foot manufacturing, warehouse, and 2-story office facility to accommodate the expanding company.

The site is located at 723 W. Guadalupe Road east of the southeast corner of Cooper and Guadalupe Roads. The site has two existing access points on Guadalupe Road, one full motion and one right in/right out, that were recently reconstructed with ST094 capital improvements project to widen Guadalupe Road.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Neighborhood Commercial	Neighborhood Commercial (NC) PAD	Casa De Cooper commercial center
South	Utility/Transportation Light Industrial	Public Facilities/Institutional	Railroad and industrial uses
East	Light Industrial	Light Industrial (LI)	Industrial storage yard
West	Light Industrial	Light Industrial (LI)	Vehicle services business
Site	Light Industrial	Light Industrial (LI)	Bushtex

Project Data Table

Site Development Regulations	Required per LDC	Proposed LI
Maximum Building Height (ft.)/(Stories)	55'	32'
Minimum Building Setback (ft.)		
Front	30'	51'
Side (Employment)	0'	34' 8"
Rear (Public Facility/Institutional)	15'	90'
Separation Between Buildings (ft.)	20'	22'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	0' (existing)
Side (Employment)	5'	5' or 0' within an enclosed service yard
Rear (Public Facility/Institutional)	15'	5' or 0' within an enclosed service yard
Landscaping (% of net lot area)	N/A	14.3%
Parking	Warehouse 1 sp/1000 sf =5 spaces Light Manufacturing 1 sp/500 sf = 10 spaces Office 1 sp/250 sf = 38 spaces 53 spaces required	55 spaces provided

DISCUSSION

Site

As part of this design review, all existing buildings, not including the main office building along Guadalupe Road, will be demolished to make room for the new proposed warehouse/office building. The majority of the site is an industrial service yard and gated from the public; one gate on the east side of the property exists with a parking lot along Guadalupe Road frontage. The existing parking lot along Guadalupe Road and the property line was recently modified during the widening of Guadalupe Road with ST094. The parking lot is non-conforming to current LDC development standards for landscape requirements. As it is an existing parking lot, changes to this area will not be required as part of this design review. One additional gated entrance to the service yard is proposed on the west side of the property and will create a looped roadway around the new building. The 17,595 square foot building is "L shaped" and will be located to the west of the main office building.

Landscape

The site has some existing landscape to the north of the service yard wall and within the existing retention at the rear of the property. Additional landscape is proposed along the frontage to meet landscape requirements including the addition of Mondel Pines, the street theme tree for the area. New landscape is not proposed behind the service yard wall as it is not required within fully enclosed industrial service yards.

Grading and Drainage

As part of the CIP project ST094, a storm drain for street run-off was built on this site and flows to the retention basin at the southwest end. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Floor Plan, Colors and Materials

The new building will be constructed from concrete tilt panel and stucco in a modified "L" shape. The two main body colors of the building will be light beige's "Ivoire" and "Independent Gold". The colors are similar to the existing main office building. The lower base of the building is a darker shade to help visually ground the building. The north elevation that will be seen along Guadalupe Road will house the 2-story office section and has windows on both stories; all windows will be tinted green to mimic the company's logo. Metal accents are shown over some windows. Wing walls are proposed at the sides of the building and at the middle of the north elevation to provide movement. The west elevation has recessed segments and floor to ceiling windows are proposed at the in-seam of the projected segments of wall panels to provide articulation. Two 8" bands wrap around the building to provide horizontal movement. The east elevation will have loading docks and is internal to the site behind the service yard screen wall. The height of the parapet is at 30' with wing walls reaching 32' in height. The floor plan shows a 2-story office along the north elevation with a warehouse at the rear.

Lighting

There are only three lighting types proposed: parking lot, building wall mounted, and recessed lighting at the loading dock. Building mounted lighting is proposed at 14' height. Parking lot lighting was revised to meet LDC requirements.

Signage

Signage is not included in this approval. Administrative Design Review approval is required prior to permitting for any proposed monument signage.

PLANNING COMMISSION STUDY SESSION, April 1, 2020:

During the Study Session, the following comments were brought forth by the Planning Commission members:

- Commissioners appreciated the new expansion in the area and felt it was an upgrade but the south facing wall could have some further articulation.
 - The applicant has revised the elevations to reflect the color blocking and the building will have 8" horizontal green bands and canopies to help with proportions and articulation. The south elevation was revised to include

canopies over the windows and the updates to the southwest elevation show that articulation is provided at the rear of the building.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received one phone call from a neighboring business asking what the project entailed; no further comments have been received from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR20-47, BushTex: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.15 acres, generally located east of the southeast corner of Cooper and Guadalupe Roads and zoned Light Industrial (LI), subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the June 3, 2020 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Signage is not included in this approval. Administrative Design Review approval is required prior to submitting for monument sign permits.
4. Existing buildings on Demo Site Plan must be removed prior to certificate of occupancy.

Respectfully submitted,



Stephanie Bubenheim
Senior Planner

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing
- 3) Aerial Photo
- 4) Narrative
- 5) Site Plan
- 6) Landscape
- 7) Grading and Drainage
- 8) Colors and Materials

- 9) Elevations
- 10) Floor Plans
- 11) Lighting
- 12) Planning Commission Draft Meeting Minutes April 1, 2020

FINDINGS OF FACT
DR20-47, BushTex

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

DR20-47: BushTex
Attachment 2 - Notice of Public Hearing

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, June 3, 2020* TIME: 6:00 PM

LOCATION: Due to the impacts of the COVID-19 pandemic, all public meetings will be conducted using measures to protect public health until further notice. As a result, attendance in person by members of the public will be prohibited. Instead, the public can participate remotely through technological means, as permitted under Arizona law. Please refer to the meeting agenda for more details.

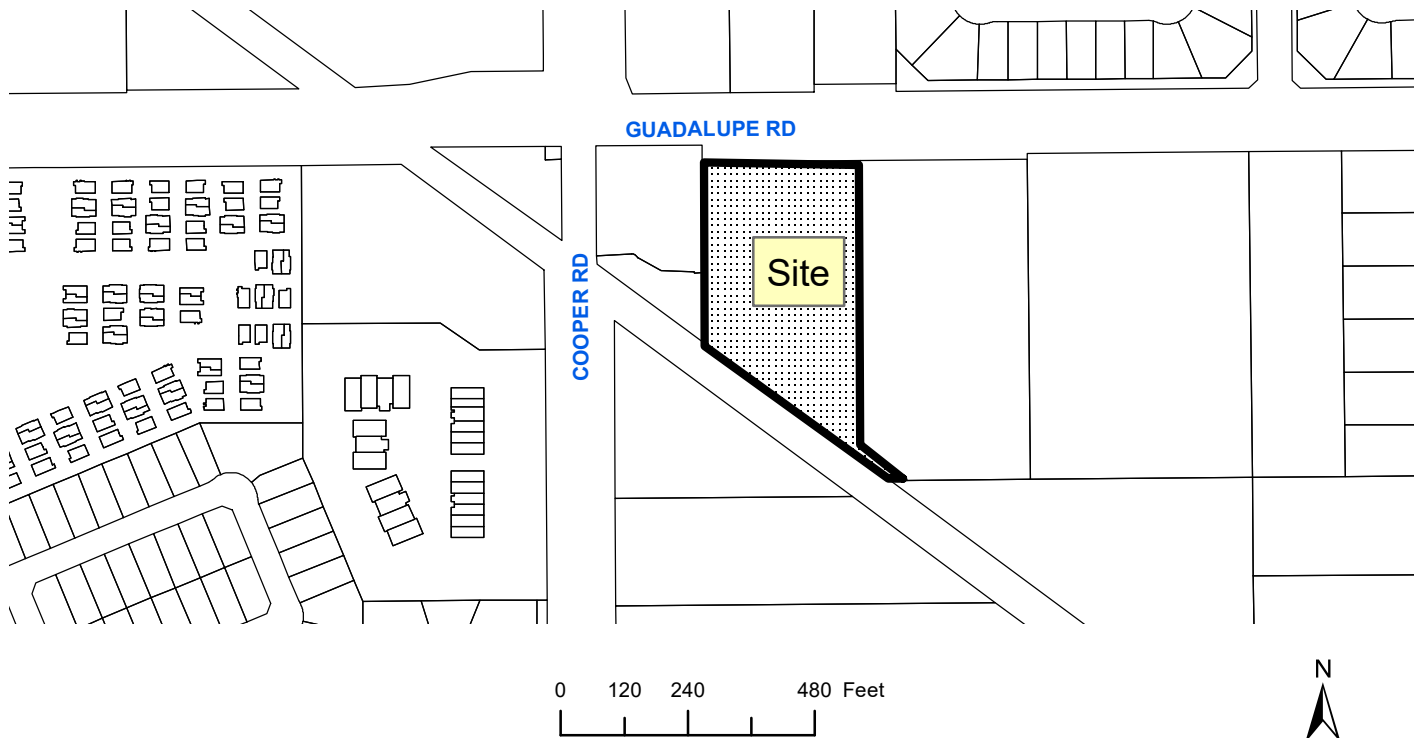
*Call Planning Division to verify date and time: (480) 503-6625

* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission and www.gilbertdocs.com/gilbertagendaonline.

REQUESTED ACTION:

DR20-47 BUSHTEX: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 3.15 acres, generally located east of the southeast corner of Cooper and Guadalupe Roads, and zoned Light Industrial (LI).

SITE LOCATION:



APPLICANT: Helmut John Hammen Architect LLC
CONTACT: John Hammen
ADDRESS: 8337 E. Monterey Way
Scottsdale, AZ 85251

TELEPHONE: (602) 758-7437
E-MAIL: helmutjohn@hotmail.com



OBJECT ISSUE:
SIGN REVIEW

DESIGN REVIEW
AND
PRELIMINARY
PRICING ONLY.
NOT FOR
CONSTRUCTION
OR PERMITTING

02/27/20



PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approver

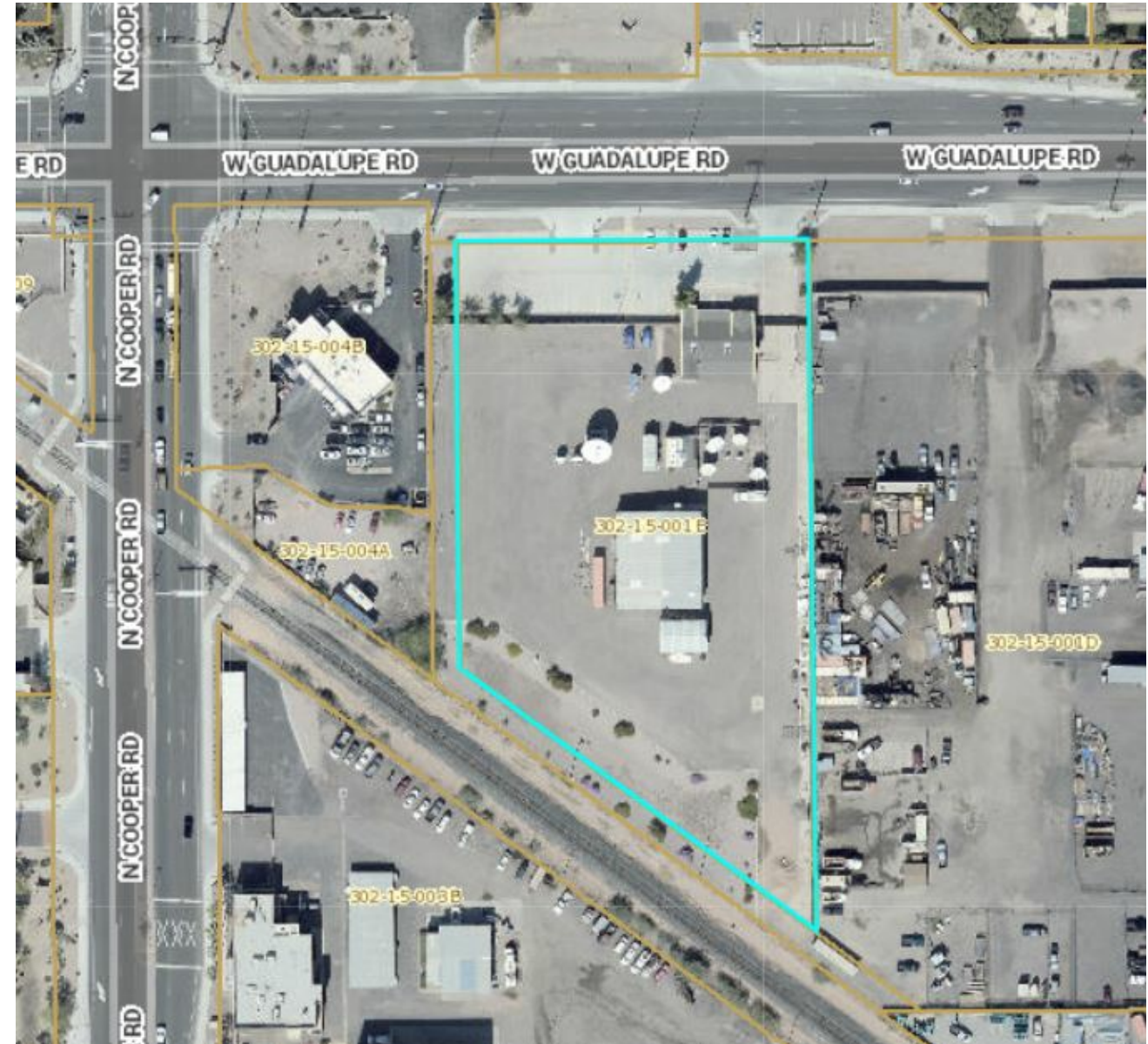


USHTEX
UILDING
B E GUADALUPE RD
BERTAZ 85233

[illegible]

MEET TITLE
MARCEL/ARIAL
MAP

G101



HJH Architecture LLC



Helmut John Hammen Architecture, LLC
8337 East Monterey
Scottsdale AZ 85251
602 758 7437
helmutjohn@hotmail.com

Town of Gilbert
Development Services Department
90 E Civic Center Dr
Gilbert, AZ 85296

PROJECT NARRATIVE

Bushtex Inc. is a global satellite communications company with headquarters based in Gilbert Arizona since 1994. They set up the ground base component for satellite transmissions around the globe and in remote places for several branches of the federal government and space agencies. At this location Bushtex will have their main office and satellite Networks Operation Center (NOC) for systems monitoring. They currently reside in four existing buildings on site in their 723 W. Guadalupe Rd. LOCATION:

Existing Building A 2,270 S.F. is the original one-story house on the site used as office space.

Existing Building C 290 S.F. is a modular office trailer used for the NOC.

Existing Building D 290 S.F. is a metal building used for storage.

Existing Building E 4,890 S.F. is a metal building used for instrument repair and minor fabrication in the re-conditioning of satellite dishes.

Bushtex also re-conditions existing satellite dishes and builds custom ones to specifications. Bushtex currently has 21 employees and at any given time more than half of them are abroad on assignment. They are a growing company with success as a provider of services to the federal government. This new building will reflect that success and growth and will be an asset to the town of Gilbert. The new building is proposed to be of painted concrete tilt wall panel envelope and green tinted glass with painted metal shade elements above the structurally glazed windows. It will be a IIB construction type. The office portion will be two stories and along with the NOC and instrument repair room will be air-conditioned. The warehouse and shipping areas will be evaporative cooled with ground mounted point of use units.

Existing buildings C,D, and E will be demolished as part of the new site development.

Respectfully submitted,

A handwritten signature in black ink, consisting of a horizontal line with several vertical strokes crossing it, followed by a long horizontal tail stroke.

Helmut John Hammen
Architect
NCARB

DR20-47: BushTex

Attachment 5 - Site Plan

SCOPE OF WORK:	NEW BUILDING
TENANT NAME:	BUSHTEX
MUNICIPALITY:	TOWN OF GILBERT
PROJECT ADDRESS:	723 W GUADALUPE ROAD GILBERT AZ 85233
GOVERNING CODES:	ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE FOLLOWING:

BUILDING:	2018 I.B.C. (INCLUDING AMENDMENTS)
ELECTRICAL:	2018 N.E.C. (INCLUDING AMENDMENTS)
MECHANICAL:	2018 I.M.C. (INCLUDING AMENDMENTS)
PLUMBING:	2018 I.P.C. (INCLUDING AMENDMENTS)
FIRE:	2018 I.F.C., 2010 NFPA (INCLUDING AMENDMENTS)
ACCESSIBILITY:	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
HEALTH:	MARICOPA COUNTY
ENERGY:	2018 I.E.C.C.
APN:	302-15-001E
ZONING:	LI (LIGHT INDUSTRY)
BUILDING AREA:	17,595 SQ. FT. 14,825 S.F. FIRST FLOOR 2,770 S.F. SECOND FLOOR

TENANT BUILDING AREA:	FACTORY (F)	4,995 SQ. FT.
	STORAGE (S)	4,440 SQ. FT.
	OFFICE (B)	8,160 SQ. FT.

CONSTRUCTION TYPE: TYPE II-B

OCCUPANT LOAD:

F	4,995 SQ. FT. / 100 SQ. FT. PER OCCUPANT
	= 50 OCCUPANTS
S	4,440 SQ. FT. / 500 SQ. FT. PER OCCUPANT
	= 9 OCCUPANTS
B	8,160 SQ. FT. / 150 SQ. FT. PER OCCUPANT
	= 55 OCCUPANTS
TOTAL	= 114 OCCUPANTS

EGRESS CALCULATION: MINIMUM EXITS REQUIRED: 2
EXITS PROVIDED: 4
TWO EXISTING EXIT STAIRS PROVIDE 72" MINIMUM
EGRESS WIDTH

EMERGENCY LIGHTING: YES

STANDPIPES: YES

FIRE SPRINKLERS: YES

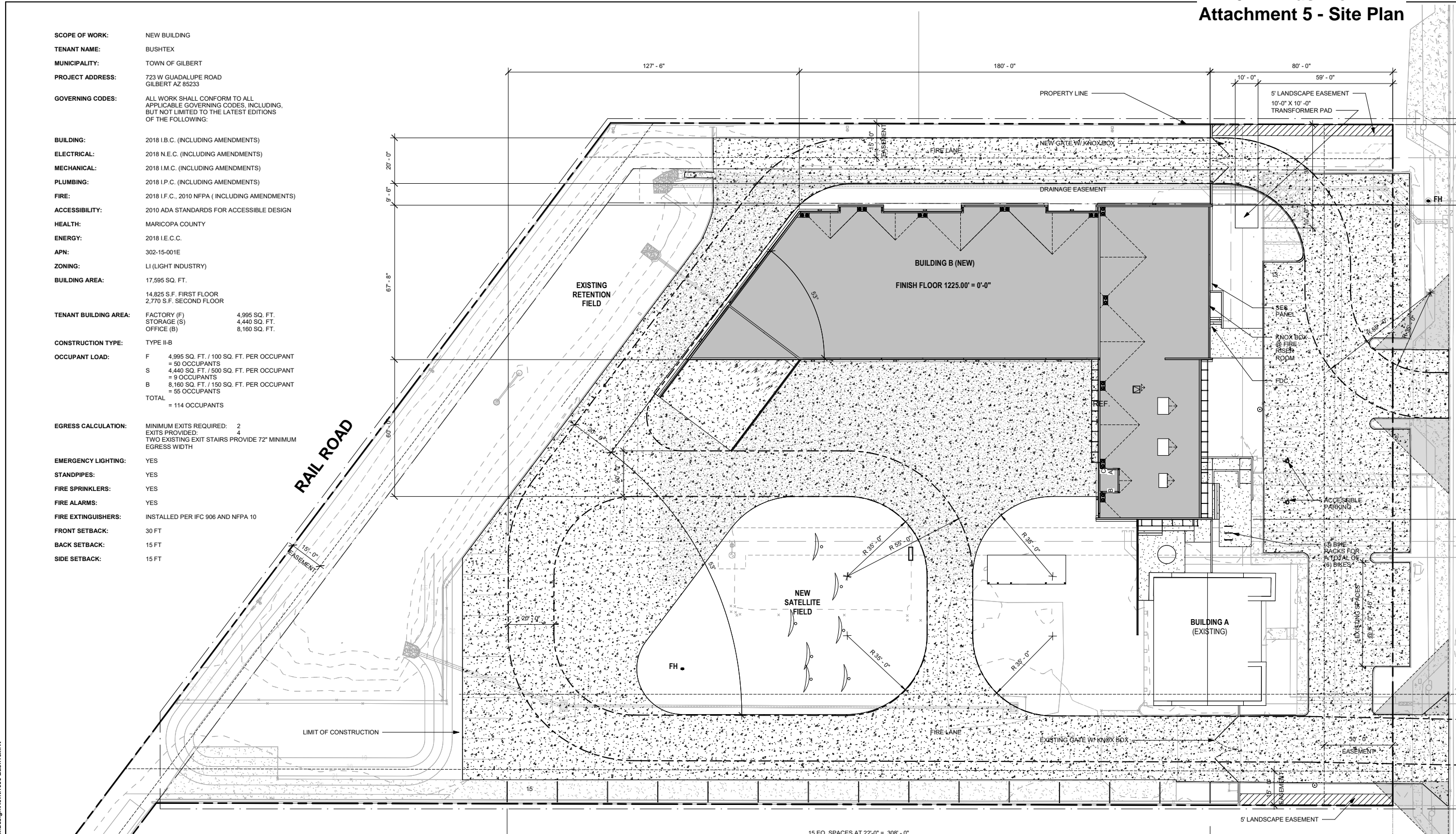
FIRE ALARMS: YES

FIRE EXTINGUISHERS: INSTALLED PER IFC 906 AND NFPA 10

FRONT SETBACK: 30 F'

BACK SETBACK: 15 F'

SIDE SETBACK: 15 F'



REQUIRED PARKING:

BLDG A - 1ST FLOOR	2,270 SF
BLDG B - 1ST FLOOR	5,390 SF
BLDG B - 2ND FLOOR	<u>2,770 SF</u>
TOTAL OFFICE	10,430 SF

BLDG B - 1ST FLOOR	9,435 SF
TOTAL WAREHOUSE	9,435 SF

PARKING:

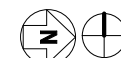
WAREHOUSE (S-1) REQUIRED	4,440 SF/1000	5 SPACES
MANUFACTURING (F-1) REQUIRED	4,995 SF/500	10 SPACES
OFFICE (B) REQUIRED	9,435 SF/250	38 SPACES

TOTAL PARKING REQUIRED	53 SPACES
TOTAL PARKING PROVIDED	55 SPACES

ACCESSIBLE PARKING REQUIRED	2 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES

Standard Commercial and Industrial Site Plan Notes

1. All utility lines less than 60 KV on or contiguous to the site shall be installed or relocated underground.
2. All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.
3. All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
4. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
 - a. Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;
 - b. Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
 - c. An alternative screening method approved by the Planning Department prior to issuance of any permits.
5. The location of all electrical utility equipment shall be identified on the construction plans.
6. Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
 - a. The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
 - b. By locating the mechanical equipment behind the roof panels in the case of mansard, hip or other than flat roof.
7. Roof-mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
8. Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.
9. Pneumatic tubes, whether metal or plastic, shall be either:
 - a. Enclosed in pilasters, columns or other architectural features of the canopy or building, or;
 - b. Rood underground.
10. All backflow prevention devices 2" or larger shall be screened with landscape located within a 6' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.



① SITE PLAN - ARCHITECTURAL
1" = 20'-0"

Helmut John Hammen Architecture LLC

Helmut John Hammen Architecture LLC

PROJECT ISSUE:
DESIGN REVIEW

NOT FOR
CONSTRUCTION
PRICING OR
PERMITTING

05/04/20



PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approver



BUSHTEX

BUSHTEX
BUILDING

723 E GUADALUPE RD
GILBERT AZ 85233

[illegible]

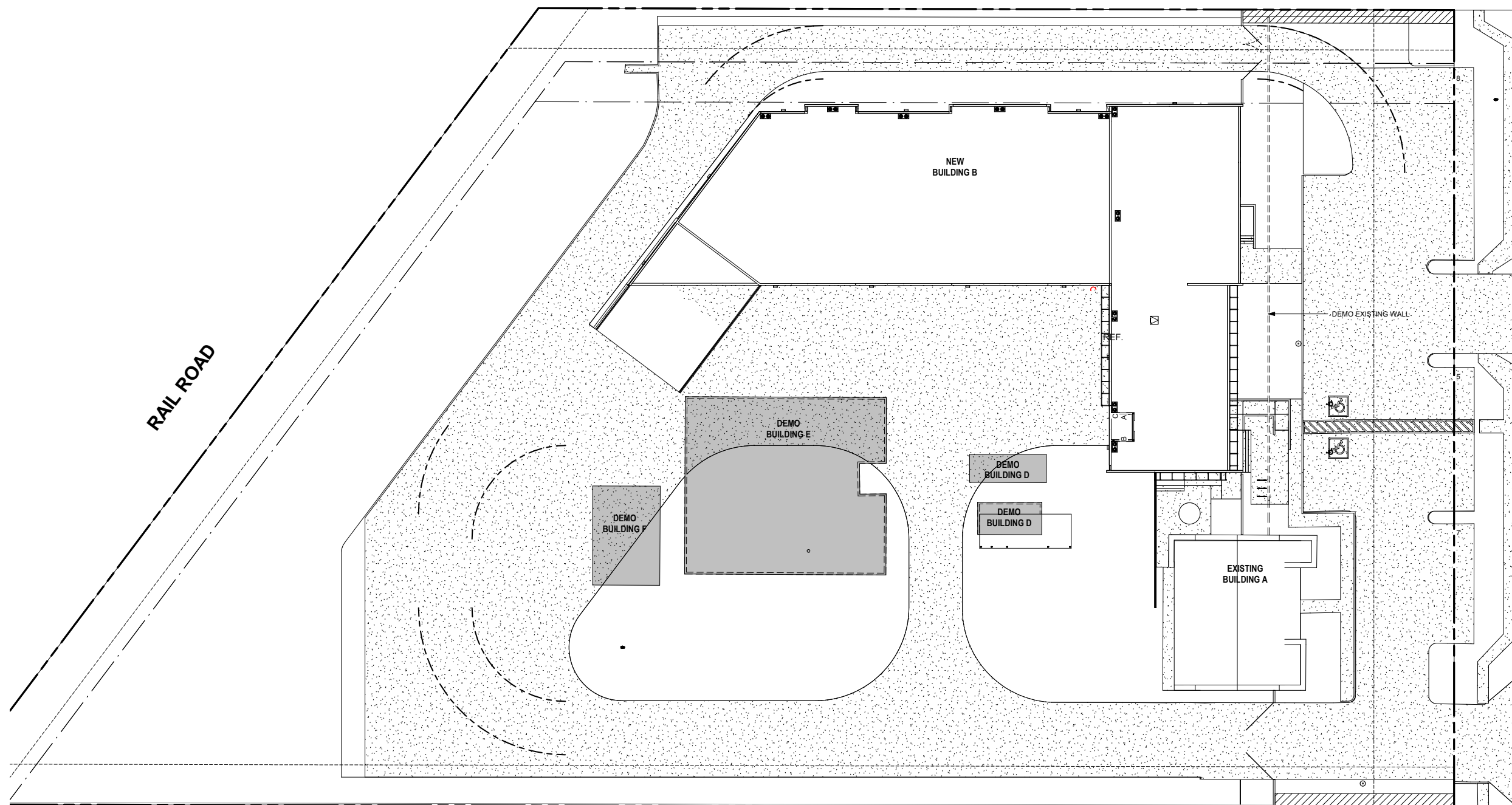
SHEET TITLE

ARCHITECTURAL
SITE PLAN

A101

SCOTTSDALE AZ 85251
helmutjohn@hotmail.com

8337 E. MONTEREY WAY
602 758 7437



RAIL ROAD

NEW
BUILDING B

— DEMO EXISTING WALL —

EXISTING
BUILDING A

WEST GUADALUPE ROAD

Helmut John Hammen Architecture LLC

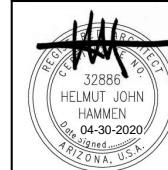
HJH Architecture LLC
83337 E. MONTERRY WAY
602.758.7437

SCOTTSDALE AZ 85251
helmutjohn@hotmail.com

PROJECT ISSUE:
DESIGN REVIEW

NOT FOR
CONSTRUCTION
PRICING OR
PERMITTING

05/04/20



PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approve



BUSHTEX

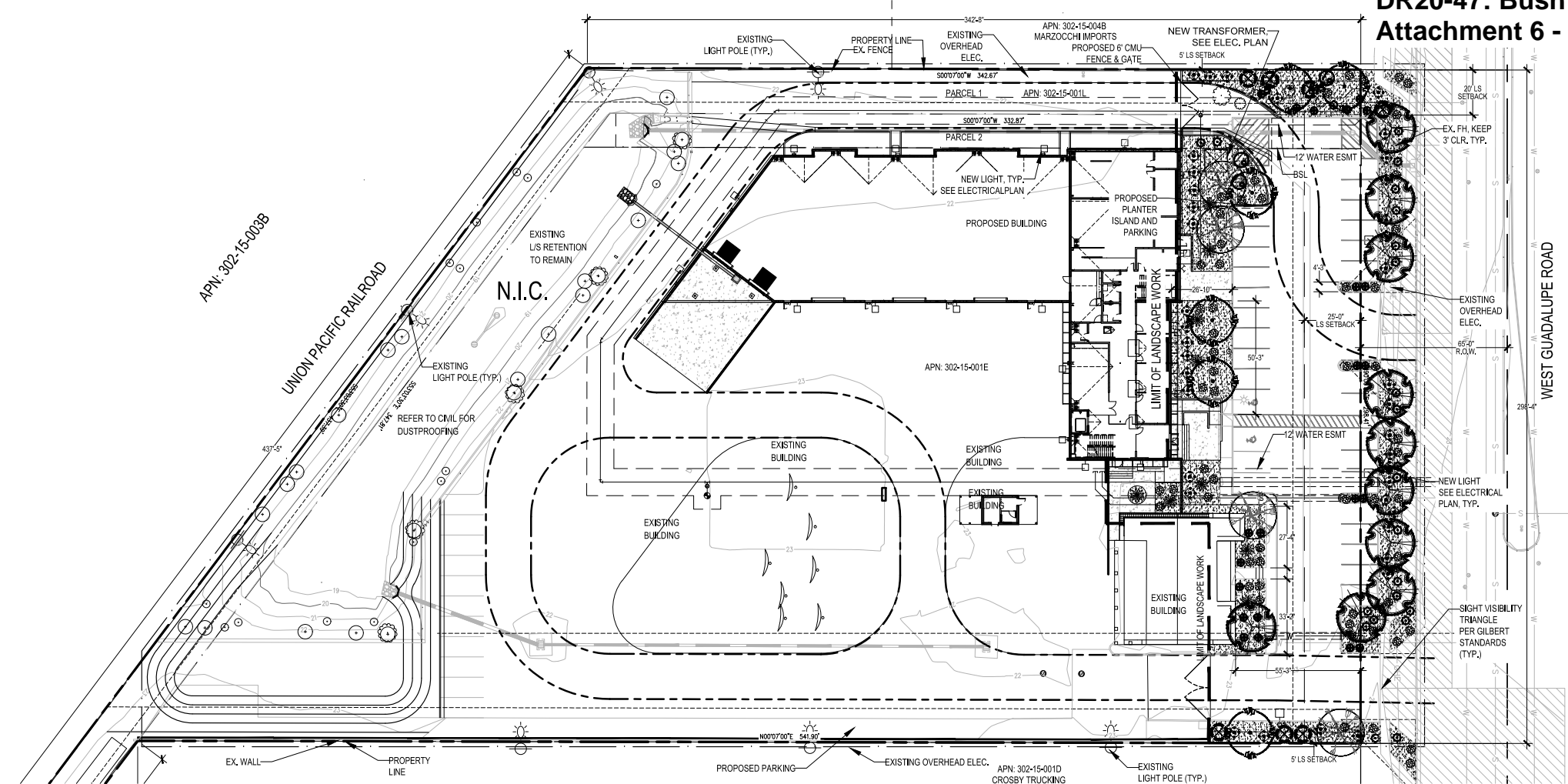
BUSHTEX
BUILDING

723 E GUADALUPE RD
GILBERTAZ 85233

[illegible]

SHEET TITLE
DEMO SITE
PLAN

D101



LANDSCAPE NOTES

- PERFORM WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS.
- CAREFULLY INSPECT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
- HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
- UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- UNDERGROUND SERVICE ALERT - NOTIFY BLUE STAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT. EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. VERIFY THE LOCATION AND CONDITION OF UTILITIES PRIOR TO CONSTRUCTION.
- INSPECTIONS - NOTIFY OWNER REPRESENTATIVE AND APPROPRIATE AGENCY REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO REQUIRED GOVERNING AGENCY INSPECTION.
- QUANTITIES INDICATED IN DRAWINGS ARE PROVIDED AS A COURTESY ONLY. VERIFY QUANTITIES SHOWN BY CONDUCTING AN INDEPENDENT QUANTITY TAKE OFF.
- OWNER AND LANDSCAPE ARCHITECT WILL DECIDE QUESTIONS RELATING TO INTERPRETATION OF DRAWINGS AND ACCEPTABLE FULFILLMENT OF THE WORK SHOWN IN CONTRACT DOCUMENTS.
- MAINTAIN PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. DISPOSE OF RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.

- APPLY PRE-EMERGENT AFTER COMPLETION OF EARTHWORK, LEACHING, BED PREPARATION AND FINE GRADING PRIOR TO TOP DRESS.
- ALL EXISTING LANDSCAPE AREAS OUTSIDE THE PROJECT AREA THAT ARE DISTURBED BY ANY ACTIVITY UNDER THIS CONTRACT SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AND TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE FLAGGED AND/OR STAKED LAYOUT OF ALL PLANTING LOCATIONS FOR REVIEW AND ADJUSTMENT, IF NECESSARY, BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING IRRIGATION OR PLANT PIT EXCAVATIONS.
- ANY AND ALL PLANTS OR TREES, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES OF THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FINE GRADE AREAS PRIOR TO PLANTING. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC., FROM THE SITES, FORMING LOW-FLOW CHANNEL FOOTPRINTS AS NOTED ON THE PLANS, BACKFILLING BEHIND BOULDERS ON LOW-FLOW CHANNEL SLOPES, AND ENSURE POSITIVE DRAINAGE.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS, WALLS, UTILITY EQUIPMENT, ETC.
- PLANT MATERIAL LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- THE IRRIGATION SYSTEM IS TO BE FULLY OPERATIONAL AND EFFECTIVE PRIOR TO THE INSTALLATION OF PLANT MATERIAL.

TOWN OF GILBERT GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION MUST BE IN ACCORDANCE WITH THE UNIFORM STANDARD SPECIFICATIONS AND DETAILS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AS AMENDED BY THE TOWN OF GILBERT (LATEST VERSION).
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF GILBERT ENGINEERING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION FOR INSPECTION. CALL (480) 503-8847.
- PLACEMENT OF DRIVEWAYS SHALL NOTE BE IN CONFLICT WITH UTILITY SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE RELOCATION OF POWER POLES AND OTHER UTILITIES.
- CONTRACTOR TO ADJUST ALL VALVES, MANHOLES, CLEANOUTS, ETC. BOTH NEW AND OLD TO FINISH PAVEMENT GRADE PER STANDARD DETAILS.
- ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL INTERESTED UTILITY COMPANIES AND HAS TRANSFERRED ALL EXISTING, AND/OR PROPOSED UTILITY LINES AND RELATED INFORMATION ONTO THESE PLANS, AND THAT HE HAS ALSO CORRECTLY PLOTTED THE EXISTING AND PROPOSED RIGHT-OF-WAY EASEMENT LINES.
- ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/OR ROADWAY PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF GILBERT PROCEDURES FOR DEVELOPERS AND ENGINEERS.
- CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT AND THE TOWN OF GILBERT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
- ALL LANDSCAPING SHALL COMPLY WITH TOWN OF GILBERT STANDARDS DETAIL 92 OR 93 (WHICHEVER IS APPLICABLE) AT TIME OF INSTALLATION. ALL SPRINKLER AND LANDSCAPE WORK MUST BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TOWN OF GILBERT PROCEDURE MANUAL.
- NO WALLS, BUILDINGS, OR OBSTRUCTIONS TO VIEW IN EXCESS OF TWO (2) FEET IN HEIGHT SHALL BE PLACED ON ANY CORNER LOT WITHIN A TRIANGULAR AREA FORMED BY THE CURB LINES AND A LINE CONNECTING THEM AT POINTS 33 FEET FROM THE INTERSECTION OF THE CURB LINES. TREES MAY BE LOCATED WITHIN THE TRIANGLE PROVIDED THEY ARE PRUNED HIGH ENOUGH (7 FOOT MIN.) TO PERMIT UNOBSTRUCTED VIEW. SEE TOWN OF GILBERT STANDARD DETAIL 92.
- ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE 50 YEAR 24-HOUR STORM WITHIN N36 HOURS. OWNER(S) OF ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL RD.
MESA, AZ 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

BUSHTEX SATELLITE
723 W GUADALUPE RD
GILBERT, AZ 85233
ADELAIDA SEVERSON
(480) 471-6688
ADELAIDA@BUSHTEX.COM

OWNER CONTACT

BUSHTEX SATELLITE
723 W GUADALUPE RD
GILBERT, AZ 85233
ADELAIDA SEVERSON
(480) 471-6688
ADELAIDA@BUSHTEX.COM

SITE ADDRESS

723 W GUADALUPE ROAD
GILBERT, ARIZONA 85233

APN: 302-15-001E, 302-15-001L

DR20-47: BushTex Attachment 6 - Landscape

PLANTING MATERIAL LEGEND

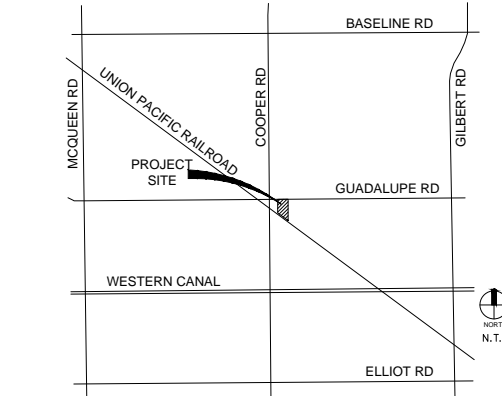
TREES	SIZE	NOTES	QTY
Existing Tree to Remain - Protect in Place			5
Pinus eldarica Mondell Pine Caliper Size: 1.5"	24" Box	*ADWR	4
Acacia aneura Mulga Caliper Size: 1.5"	24" Box	*ADWR *APS	12
GROUNDCOVERS			QTY
Lantana 'New Gold' New Gold Lantana	5 Gallon	*ADWR	60
SHRUBS / ACCENTS			QTY
Existing plant to remain protect in place	-	*ADWR	-
Tecoma 'Sparky' Sparky Tecoma	5 Gallon	*ADWR	3
Leucophyllum 'Lynn's Legacy' Lynn's Legacy Texas Sage	5 Gallon	*ADWR	3
Ruellia peninsularis Baja Ruellia	5 Gallon	*ADWR	35
Convolvulus cneorum Bush Morning Glory	5 Gallon	*ADWR	23
Hesperaloe parviflora 'Perpa' Brake Lights Red Yucca	5 Gallon	*ADWR	16
Agave weberi Weber Agave	5 Gallon	*ADWR	9

LANDSCAPE MATERIALS

Decomposed Granite. 1/2" screened, Madison Gold, 2" deep in planting areas per plan.	9,699 sq.ft.
Sight Visibility Triangle per Town of Gilbert standard detail GIL-212	

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

VICINITY MAP



PROJECT DATA TABLE

GROSS SITE AREA TOTAL*	137,378 SF / 3.153 AC
NET SITE AREA TOTAL*	121,532 SF
LANDSCAPE AREA TOTAL:	70,260 SF
ON-SITE LANDSCAPE AREA:	17,389 SF
OFF-SITE LANDSCAPE AREA:	52,871 SF

% LANDSCAPE COVERAGE (ON-SITE LANDSCAPE AREA DIVIDED BY NET SITE AREA)	14.3%
--	-------

*INCLUDES PARCELS 1 & 2

	PROVIDED AREA	REQ'D PLANTS	PROVIDED PLANTS
ARTERIAL FRONTAGE 1 TREE/25 LF FRONTAGE 3 SHRUBS PER TREE	239 LF FRONTAGE	10 TREES 30 SHRUBS	11 TREES 56 SHRUBS
PARKING LOT (EX. FINGER ISLANDS ARE LESS THAN 4'W) 1 TREE/ISLAND 3 SHRUBS PER TREE	2 ISLANDS	2 TREES 6 SHRUBS	2 TREES 16 SHRUBS

DESCRIPTION OF WORK

LANDSCAPE WORK FOR THIS PROJECT WILL CONSIST OF ADDITIONAL PLANTING IN THE FRONTAGE AND PARKING LOT AREA. DECOMPOSED GRANITE GROUNDCOVER SHALL BE USED IN ALL PLANTING AREAS. AN AUTOMATIC DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE ADEQUATE WATER TO PLANTS. EXISTING PLANTING IN SOUTH RETENTION AREA IS TO REMAIN AND IRRIGATION FOR THAT AREA WILL BE CONNECTED TO NEW SYSTEM FOR FRONTAGE AND PARKING LOT.

ARIZONA BLUESTAKE
CENTER
CALL TWO WORKING DAYS
BEFORE YOU DIG
1.800.782.5348

H

P

+

D

HARRINGTON
PLANNING + DESIGN

1921 S Alma School Rd, Suite 204
Mesa, Arizona 85210
Tel: 480-250-0116
www.HarringtonPlanningDesign.com

PRELIMINARY
NOT FOR CONSTRUCTION

JASON E.
HARRINGTON
REGISTERED
LANDSCAPE ARCHITECT
ARIZONA U.S.A.
04.27.2020

BUSHTEX BUILDING

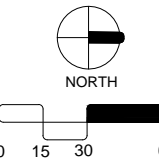
723 W Guadalupe Road
Gilbert, Arizona 85233

REV.	COMMENT	DATE

Bid Submittal	04.15.20
Prelim Submittal	04.01.20
Prelim Submittal	03.05.20
ISSUE	DATE

PRELIMINARY
LANDSCAPE PACKAGE

APRIL 27, 2020	
DRAWN BY:	SAJ
CHECK BY:	JEH
PROJ. NO.:	2020-006
CASE NO.:	-



PRELIMINARY
LANDSCAPE PLAN

L1.1

1 of 1

SITE IMPROVEMENT PLAN

FOR
BUSHTEX, INC.
723 WEST GUADALUPE ROAD
GILBERT, ARIZONA 85233



6859 E Rembrandt Ave, #124
Mesa, AZ 85212
Ph: (480) 223-8573
landcorconsulting.com



BUSHTEX, INC.
SITE IMPROVEMENT PLAN
GILBERT, ARIZONA

BLD

LEGEND

EXISTING:

-----	PROPERTY LINE
-----	EASEMENT LINE
⊙	BRASS CAP FLUSH
⊞	BRASS CAP IN HAND HOLE
●	PROPERTY CORNER
=====	CULVERT PIPE
----- S -----	SEWER LINE
----- W -----	WATER LINE
----- E -----	ELECTRIC LINE
P.P.	POWER POLE
⊞	ELECTRIC BOX
× 52.5	SPOT ELEVATION
----- 50 -----	INDEX CONTOUR
----- 49 -----	INTERMEDIATE CONTOUR
⊞	WATER METER BOX
⊙	WATER VALVE
⊞	FIRE HYDRANT
⊞	SEWER MANHOLE
⊞	SEWER CLEANOUT
△ _{ICV}	IRRIGATION CONTROL VALVE
⊙ _{GV}	GAS VALVE
⊙ _{GM}	GAS METER
⊞	STORM DRAIN MANHOLE
☀	LIGHT POLE
⊞	STREET LIGHT
⊞	SMALL SIGN
●	POST
-----	EDGE OF PAVEMENT
=====	SITE WALL
🌴	PALM TREE
🌳	SINGLE TREE

PROPOSED:

----- S -----	SEWER LINE
----- W -----	WATER LINE
----- FL -----	FIRE LINE
=====	STORM DRAIN
=====	GRADE BREAK
--->--->---	FLOW LINE
↘ 88.00	PROPOSED GRADE ELEVATION
----- 50 -----	INDEX CONTOUR
----- 49 -----	INTERMEDIATE CONTOUR
⊞	WATER METER BOX
⊙	WATER VALVE
⊞	FIRE DEPT. CONNECTION (FDC)
⊞	FIRE HYDRANT
⊞	SEWER MANHOLE
⊞	SEWER CLEANOUT
⊞	STORM DRAIN CATCH BASIN

ABBREVIATIONS:

FINISHED FLOOR	FF
FINISHED GRADE	FG
TOP OF CURB	TC
GUTTER	G
PAVEMENT	P
SIDEWALK	S/W
DRIVEWAY	D/W
TOP OF WALL	TW
BOTTOM OF WALL	BW
INVERT	INV
GRATE	GR
RIGHT-OF-WAY	R/W
DRAINAGE EASEMENT	DE
POWER DISTRIBUTION ESMT.	PDE
HIGH WATER ELEVATION	HWE

NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS DRAWING.

UTILITY REVIEW

- THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.
- THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

UTILITY COMPANY	REPRESENTATIVE	PHONE
SALT RIVER PROJECT – ELECTRIC	SHERYL PEHRSON	602-236-6086
SOUTHWEST GAS CORPORATION	FRANCHISE DEPARTMENT	480-730-3845
CENTURYLINK, INC. (QWEST)	CONFLICT REVIEW	602-630-0492
COX COMMUNICATIONS	TRAFFIC MANAGEMENT CENTER	623-322-7044
ROOSEVELT WATER CONSERVATION DISTRICT	BRUCE HALLSTED	480-503-2250
CITY OF MESA – WATER RESOURCES	JOAN LASHER	480-644-2882

RETENTION CALCULATIONS

RETENTION REQUIRED:

V = DAC

V_1 = REGULATORY VOLUME REQUIRED (C.F.)
 V_2 = COMPENSATORY STORAGE VOLUME REQUIRED (C.F.)
 V_r = TOTAL VOLUME REQUIRED (C.F.)
D = FIFTY-YEAR, 24-HOUR RAINFALL DEPTH=0.25 FEET
A = CONTRIBUTING AREA IN S.F.
C = WEIGHTED RUNOFF COEFFICIENT

PARCEL 1 & 2	AREA (S.F.)
STREET R/W	137,378
TOTAL	19,397
	156,775

ROOFS & CONC.	50,235	0.95
ASPHALT	58,464	0.90
DESERT LANDSCAPING	48,076	0.70
TOTAL	156,775	

WEIGHTED C = 0.85

$V_1 = (0.25)(156,775)(0.85) = 33,499 \text{ C.F.}$

NOTE: THIS SITE WILL RETAIN A RUNOFF VOLUME EQUIVALENT TO THE SUM OF THE 50-YEAR, 24-HOUR STORM EVENT AND THE COMPENSATORY STORAGE VOLUME DUE TO DISPLACEMENT OF FLOOD WATERS IN THE FEMA FLOODPLAIN. THE COMPENSATORY STORAGE ANALYSIS RESULTS BASED ON DIGITAL TERRAIN MODEL CALCULATIONS ARE AS FOLLOWS:

COMPENSATORY STORAGE:

NET FILL VOLUME = 43,119 C.F.
VOLUME ABOVE BFE = 24,408 C.F.

$V_2 = 43,119 - 24,408 = 18,711 \text{ C.F. (DISPLACED VOLUME)}$

THEREFORE,

TOTAL VOLUME REQUIRED = 33,499 + 18,711 = 52,210 C.F.

RETENTION PROVIDED:

RETENTION BASIN
VOLUME $V_p = 59,050 \text{ C.F.}$

SHEET INDEX

	CIVIL SHEET	SHEET
COVER SHEET	C-1	1
NOTES	C-2	2
GRADING & DRAINAGE PLAN	C-3	3
CROSS SECTIONS & DETAILS	C-4	4
SITE UTILITY PLAN	C-5	5

BENCHMARK

BRASS CAP IN HANDHOLE AT THE INTERSECTION OF GUADALUPE ROAD AND COOPER ROAD.

ELEVATION = 1222.47 FEET (NAVD '88 DATUM)

NOTE: ADD 1200 FEET TO ALL SPOT GRADE ELEVATIONS SHOWN IN THIS PLAN.

LEGAL DESCRIPTION

PARCEL NO. 1 :

COMMENCING AT THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

THENCE EAST (ASSUMED BEARING) ALONG TILE NORTH LINE OF SAID SECTION 12 A DISTANCE OF 253.00 FEET (FROM WHICH THE NORTH QUARTER CORNER OF SAID SECTION 12 BEARS EAST 2375.50 FEET THEREFROM) TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00° 07' 00" WEST 397.86 FEET TO A POINT THAT IS 20.00 FEET NORTHEASTERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF THE SOUTHERN PACIFIC RAILROAD;

THENCE SOUTH 53° 03' 30" EAST BEING PARALLEL TO AND 20.00 FEET NORTHEASTERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF THE SOUTHERN PACIFIC RAILROAD, 347.81 FEET;

THENCE NORTH 00° 07' 00" EAST 606.90 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 12;

THENCE WEST (ASSUMED BEARING) ALONG SAID NORTH LINE 278.42 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING;

EXCEPT THE NORTH 65.00 FEET THEREOF.

PARCEL NO. 2:

BEGINNING AT THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

THENCE EAST ALONG THE NORTH SECTION LINE OF SAID SECTION, A DISTANCE OF 233.00 FEET TO THE TRUE POINT OF BEGINNING THAT POINT BEING THE NORTHWEST CORNER OF THAT PROPERTY DESCRIBED IN DOCKET 13116, PAGE 459 AND THE NORTHEAST CORNER OF THE PROPERTY DESCRIBED IN BOOK 353 OF DEEDS, PAGE 141, MARICOPA COUNTY RECORDS;

THENCE SOUTHERLY ALONG THE EAST LINE OF PROPERTY DESCRIBED IN BOOK 353 OF DEEDS, PAGE 141, A DISTANCE OF 407.66 FEET MORE OR LESS TO A POINT ON THE NORTH RIGHT OF WAY OF THE SOUTHERN PACIFIC RAILROAD;

THENCE SOUTHEASTERLY ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 437.02 FEET MORE OR LESS TO THE POINT OF INTERSECTION WITH THE WESTERLY EXTENSION OF THE SOUTH LINE OF PROPERTY DESCRIBED IN DOCKET 12025, PAGE 1115;

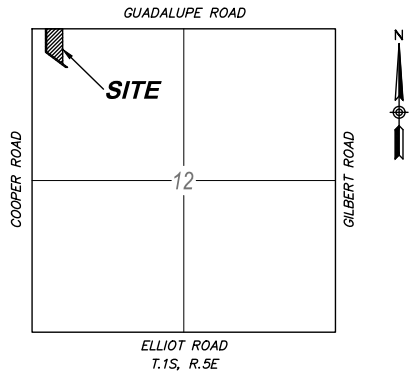
THENCE EAST ALONG SAID LINE EXTENDED A DISTANCE OF 33.28 FEET, MORE OR LESS TO A CORNER OF PROPERTY DESCRIBED IN SAID DOCKET 12025, PAGE 1115;

THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF PROPERTY DESCRIBED IN SAID DOCKET 12025, PAGE 1115 AND THE SOUTHERLY LINE OF PROPERTY DESCRIBED IN DOCKET 9962, PAGE 431, A DISTANCE OF 453.70 FEET MORE OR LESS TO THE SOUTHWEST CORNER OF PROPERTY DESCRIBED IN SAID DOCKET 9962, PAGE 431;

THENCE NORTHERLY ALONG THE WEST LINE OF PROPERTY DESCRIBED IN DOCKET 9962, PAGE 431, A DISTANCE OF 397.86 FEET MORE OR LESS TO THE NORTHWEST CORNER OF PROPERTY DESCRIBED IN SAID DOCKET 9962, PAGE 431 AND THE NORTH LINE OF SAID SECTION 12;

THENCE WEST ALONG SAID NORTH LINE A DISTANCE OF 20.00 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT THE NORTH 65.00 FEET THEREOF.



VICINITY MAP

NTS

OWNER

BUSHTEX, INC.
P.O. BOX 1407
GILBERT, AZ 85299-1407
PHONE: (480) 471-6688
CONTACT: BARRY OR ADELAIDA SEVERSON

ENGINEER

LANDCOR CONSULTING, PC
6859 E REMBRANDT AVE, #124
MESA, AZ 85212
PHONE: (480) 223-8573
CONTACT: WADE E. COOKE, P.E.
EMAIL: wade@landcorconsulting.com

PROJECT INFORMATION

ADDRESS:	723 W. GUADALUPE ROAD GILBERT, AZ 85234
APN:	302-15-001E & 001L
ZONING:	EMPLOYMENT/L-1
PARCEL SIZE:	PARCEL 1 121,772 SQ.FT. OR 2.796 ACRES PARCEL 2 15,606 SQ.FT. OR 0.358 ACRES TOTAL 137,378 SQ.FT. OR 3.154 ACRES

APPROVALS:

APPROVED BY: _____ TOWN ENGINEER _____ DATE _____

APPROVED BY: _____ TOWN FIRE DEPARTMENT _____ DATE _____

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "AS-BUILT" MEASUREMENTS AS SHOWN OR NOTED HEREON WERE MADE BY MYSELF OR UNDER MY SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SIGNATURE DATE



TITLE:	
COVER SHEET	
<hr/>	
DATE:	4/30/20
<hr/>	
PROJ. # :	167
<hr/>	
C-1	
1	OF 5

TOWN OF GILBERT - GENERAL NOTES (09/2019)

1. ALL DESIGN AND CONSTRUCTION MUST BE IN ACCORDANCE WITH THE UNIFORM STANDARD SPECIFICATIONS AND DETAILS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE TOWN OF GILBERT.
2. THE DEVELOPER AND CONTRACTOR SHALL NOTIFY THE TOWN OF GILBERT DEVELOPMENT SERVICES DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION OF INSPECTION. CALL (480) 503-6700.
3. THE DEVELOPER AND CONTRACTOR SHALL AVOID THE PLACEMENT OF DRIVEWAYS IN CONFLICT WITH UTILITY SERVICES.
4. THE DEVELOPER AND CONTRACTOR SHALL COORDINATE THE RELOCATION OF POWER POLES AND OTHER UTILITIES.
5. BACKFILL AND COMPACTION WITHIN COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST MARICOPA COUNTY SPECIAL PROVISIONS FOR INSTALLATION OF UNDERGROUND UTILITIES.
6. CONTRACTOR SHALL COMPLY WITH THE PROVISION FOR TRAFFIC CONTROL AS PER THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK.
7. CALL THE ARIZONA 811, BLUE STAKE CENTER (602) 263-1100, 48 HOURS BEFORE YOU DIG FOR LOCATION OF ALL UNDERGROUND UTILITIES.
8. ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL INTERESTED UTILITY COMPANIES AND HAS TRANSFERRED ALL EXISTING AND/OR PROPOSED UTILITY LINES AND RELATED INFORMATION ONTO THESE PLANS, AND THAT HE HAS ALSO CORRECTLY PLOTTED THE EXISTING AND PROPOSED RIGHT-OF-WAY AND EASEMENT LINES.
9. THE CONTRACTOR SHALL BE REQUIRED TO INSTALL A NIGHT TIE IN FOR ANY NEW WATER LINE THAT WILL AFFECT EXISTING SERVICE SUFFICIENT TO WARRANT SAME IN THE OPINION OF THE TOWN INSPECTOR.
10. ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/OR ROADWAY PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF GILBERT PUBLIC WORKS AND ENGINEERING STANDARDS.
11. CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT AND THE TOWN OF GILBERT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
12. CONTRACTOR SHALL PERFORM CLOSE CIRCUIT TELEVISION OF THE STORM SEWER SYSTEM THAT VERIFIES PROPER INSTALLATION. THIS SHALL BE SUBMITTED AND APPROVED BY THE TOWN OF GILBERT PRIOR TO FINAL ACCEPTANCE.

TOWN OF GILBERT - WATER GENERAL NOTES (09/2019)

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MAG SPECIFICATIONS AND DETAILS WITH THE TOWN OF GILBERT'S ADDITIONS AND DELETIONS.
2. WATER LINES SHALL COMPLY WITH AWWA STANDARD PVC C-900 CLASS 235. RIEBER SEALING SYSTEM GASKET JOINT IS RECOMMENDED AND PREFERRED. PIPE BEDDING FOR PVC C-900 SHALL CONFORM TO TOWN OF GILBERT STANDARD DETAIL GIL-302. ALL FITTINGS AND VALVES SHALL BE MECHANICAL JOINT TYPE, EXCEPT AS SHOWN ON TOWN OF GILBERT STANDARD DETAIL GIL-320. ALL WATER LINES TO BE PROPERLY RESTRAINED USING JOINT SYSTEM SUCH AS: MEGALUG OR AN APPROVED EQUAL.
3. THE TOWN ENGINEER SHALL BE NOTIFIED 24 HOURS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
4. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.
5. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER DISTRIBUTION DIVISION. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.
6. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION PRIOR TO TRENCHING. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. CALL ARIZONA 811, BLUE STAKE CENTER AT (602) 263-1100 AND NOTIFY SRP.
8. ALL VALVES SHALL BE GATE TYPE, UNLESS OTHERWISE NOTED, AND OPEN COUNTER CLOCKWISE. WATER VALVES SHALL BE MUELLER, CLOW, WATEROUS OR APPROVED EQUAL.
9. SUMMITS IN WATER LINES SHALL BE LOCATED AT FIRE HYDRANTS.
10. BACKFILLING SHALL NOT BE STARTED UNTIL LINES ARE APPROVED BY THE TOWN ENGINEER'S REPRESENTATIVE.
11. ALL BACKFILL FOR WATER LINES SHALL BE PER TOWN OF GILBERT STANDARD DETAIL GIL-302. ALL PAVEMENT AND SURFACE RESTORATION SHALL BE PER TOWN OF GILBERT STANDARD DETAIL GIL-270.
12. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
13. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGE TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
14. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCELS OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.
15. WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF GILBERT STANDARD DETAIL GIL-310.
16. FIRE HYDRANTS SHALL BE PER TOWN OF GILBERT SUPPLEMENT TO MAG STANDARD SPECIFICATIONS OR APPROVED EQUAL AND INSTALLED PER TOWN OF GILBERT STANDARD DETAIL GIL-320. FIRE HYDRANTS SHALL BE 3 FEET 6 INCH DEPTH OF BURY. ADJUSTMENTS IN GRADE SHALL BE DONE USING 'GRADELOK' OFFSET. EXTENSIONS ON FIRE HYDRANTS WILL NOT BE PERMITTED. A BLACK, HEAVY DUTY BAG WITH A 'TIE DOWN' SHALL BE PLACED OVER ALL NEW HYDRANTS AND MAINTAINED UNTIL THE SYSTEM HAS BEEN APPROVED BY THE INSPECTOR.
17. TRAFFIC CONTROL SHALL BE PER THE 2009 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK AND TOWN OF GILBERT STANDARD DETAILS.
18. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND LOCATION OF THE REQUIRED COMPACTION TESTS. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB, AND PAY THE COSTS TO PERFORM THE TESTS.
19. THE TOWN WILL NOT ACCEPT WATER LINES WITH LESS THAN 3 FEET OF COVER.
20. A MINIMUM OF SIX-FOOT HORIZONTAL SPACING BETWEEN WATER MAINS, SEWER, RECLAIMED WATER, AND WATER SERVICES SHALL BE MAINTAINED.
21. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.
22. A 2' X 4' STAKE (PAINTED BLUE) SHALL BE SET ONE FOOT BEHIND EACH WATER SERVICE. ALL 2' X 4' STAKES MARKING WATER SERVICES SHALL BE 5 FEET IN LENGTH AND FIRMLY SET INTO THE GROUND TO A DEPTH OF 3 FEET.
23. ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869), OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL.
24. ALL BACKFLOW DEVICES SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

NOTE: A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPING OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. RECORD DRAWINGS ARE ALSO REQUIRED.

USE THE FOLLOWING TABLE FOR METER BOXES AND METER BOX COVERS:

METER SIZE	MAG STD. DTL.	MAG STD. BOX NUMBER
3/4"	#A6000485*	#A6000484*
1"	#A6000485*	#A6000484*
1½" TO 2" (PEDESTRIAN RATED)	#P6001854X12	#A6001852-H2
1½" TO 2" (TRAFFIC RATED)	#A6001640PCX12	#A6001947T-H2

*ARMORCAST PRODUCTS COMPANY OR DFWA2C-12-1A DFW PLASTIC COMPANY; COVER WITH HOLE FOR TOUCH PAD.

25. WATER MAIN CHLORINATION: CALCIUM HYPOCHLORITE SHALL BE ADDED TO ALL NEW WATER MAINS/FIRE LINES FOR DISINFECTION PER THE FOLLOWING:
- 12 INCH MAINS --.35 LBS. OR 5.6 OZ. PER 100 FEET OF PIPE
- 8 INCH MAINS --.12 LBS. OR 1.92 OZ. PER 100 FEET OF PIPE
- 6 INCH MAINS --.08 LBS. OR .48 OZ PER 100 FEET OF PIPE
26. ALL WATER METER REGISTERS FURNISHED TO, OR INSTALLED IN THE TOWN OF GILBERT, ARIZONA SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS.
- ALL REGISTERS SHALL HAVE AN ENCODED OUTPUT AND UTILIZE SENSUS PROTOCOL. REGISTERS WILL HAVE ELECTRONIC TOUCH READ CAPABILITY AND BE ENTIRELY COMPATIBLE WITH CURRENT TOWN OF GILBERT METER READING EQUIPMENT.

REGISTER RESOLUTION FOR METER SIZE SHALL BE AS FOLLOWS:

REGISTER RESOLUTION		
METER SIZE	(GALLONS)	METER TYPE
3/4"	1,000	MULTI-JET OR SINGLE-JET
1"	1,000	MULTI-JET OR SINGLE-JET
1 ½" TO 10"	1,000	SINGLE-JET

ALL METERS SHALL MEET AWWA NEW METER TEST STANDARDS.

WATER AND SEWER SERVICE INSTALLATION SPECIFICATIONS ARE DEPICTED IN THE TOWN OF GILBERT STANDARD DETAILS (300 AND 400 SERIES)

TOWN OF GILBERT - SEWER GENERAL NOTES (09/2019)

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MAG SPECIFICATIONS AND DETAILS WITH THE TOWN OF GILBERT'S ADDITIONS AND DELETIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE TOWN ENGINEER SHALL BE NOTIFIED 24 HOURS PRIOR TO THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
3. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN REPRESENTATIVE OR INSPECTOR.
4. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE PUBLIC WORKS DEPARTMENT. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.
5. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION PRIOR TO TRENCHING. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO THE SAME. CALL ARIZONA 811, BLUE STAKE CENTER AT (602) 263-1100 AND NOTIFY SRP.
7. BACKFILLING SHALL NOT BE STARTED UNTIL ALL LINES ARE APPROVED BY THE TOWN ENGINEER, TOWN REPRESENTATIVE OR TOWN INSPECTOR.
8. ALL BACKFILL FOR PVC SEWER LINES SHALL BE PER TOWN OF GILBERT STANDARD DETAIL GIL401. ALL BACKFILL FOR VCP SEWER LINES SHALL BE PER TOWN OF GILBERT STANDARD DETAIL GIL-402. ALL PAVEMENT AND SURFACE RESTORATION SHALL BE PER TOWN OF GILBERT STANDARD DETAIL GIL-270.
9. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGES TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
10. MANHOLE STEPS SHALL NOT BE PERMITTED IN ANY SANITARY SEWER MANHOLES.
11. PRECAST MANHOLES TO HAVE IMPRESSION RING TYPE BASES, AND USE GROUT OR RAMNEK BETWEEN EACH PRECAST SECTION.
12. ALL RINGS AND COVERS SHALL BE EAST JORDAN IRON WORKS #00222459 OR NEENAH #NFDTEER 1295 FOR FOUR-FOOT MANHOLES AND EAST JORDAN IRON WORKS #00223124 OR NEENAH #NF-DEETER, 1296 FOR FIVE-FOOT MANHOLES.
13. ALL TAPS SHALL BE WYE TYPE.
14. ALL SEWER TAPS SHOULD BE 4¼ FEET DEEP AT THE PROPERTY LINE.
15. A MINIMUM OF 6 FEET OF HORIZONTAL SPACING BETWEEN SEWER AND WATER SERVICES SHALL BE MAINTAINED.
16. TRAFFIC CONTROL SHALL BE PER THE 2009 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK AND TOWN OF GILBERT STANDARD DETAILS.
17. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND LOCATION OF THE REQUIRED COMPACTION TESTS. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB, COORDINATE WITH THE INSPECTOR AND TESTING LAB, AND PAY THE COSTS TO PERFORM THE TESTS.
18. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCELS OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.
19. THE TOWN WILL NOT ACCEPT SEWER LINES WITH LESS THAN 5 FEET OF COVER, UNLESS APPROVED BY THE TOWN ENGINEER.
20. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.
21. A 2' X 4' STAKE (PAINTED GREEN) SHALL BE SET ONE FOOT BEHIND EACH SEWER SERVICE. ALL 2' X 4' STAKES MARKING SEWER SERVICES SHALL BE FIRMLY SET INTO THE GROUND AT THE ELEVATION OF THE FLOW LINE AND SHALL EXTEND 2 FEET ABOVE THE GROUND SURFACE.

PRELIMINARY
NOT FOR
CONSTRUCTION



REVISIONS:	DATE:			

TITLE:	NOTES
DATE:	4/30/20
PROJ. #:	1671
C-2	2 of 5

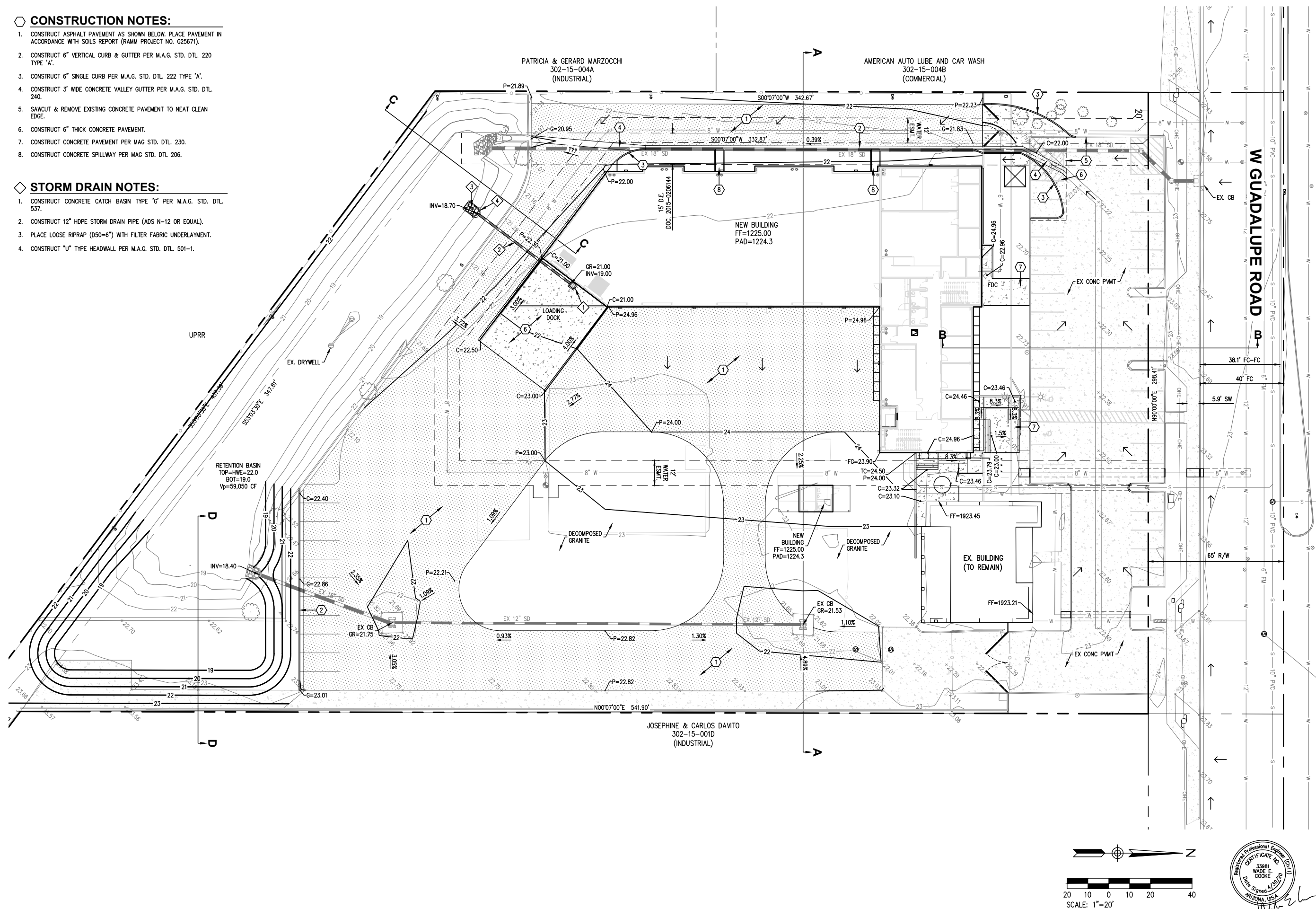
PRELIMINARY GRADING & DRAINAGE PLAN

CONSTRUCTION NOTES:

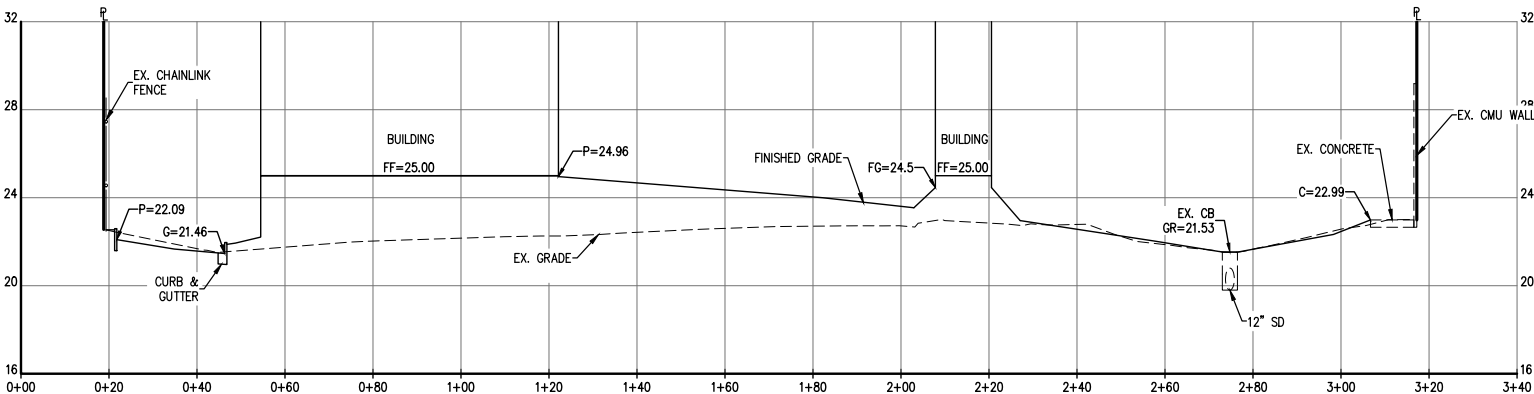
1. CONSTRUCT ASPHALT PAVEMENT AS SHOWN BELOW. PLACE PAVEMENT IN ACCORDANCE WITH SOILS REPORT (RAMM PROJECT NO. G25671).
2. CONSTRUCT 6" VERTICAL CURB & GUTTER PER M.A.G. STD. DTL. 220 TYPE 'A'.
3. CONSTRUCT 6" SINGLE CURB PER M.A.G. STD. DTL. 222 TYPE 'A'.
4. CONSTRUCT 3' WIDE CONCRETE VALLEY GUTTER PER M.A.G. STD. DTL. 240.
5. SAWCUT & REMOVE EXISTING CONCRETE PAVEMENT TO NEAT CLEAN EDGE.
6. CONSTRUCT 6" THICK CONCRETE PAVEMENT.
7. CONSTRUCT CONCRETE PAVEMENT PER MAG STD. DTL. 230.
8. CONSTRUCT CONCRETE SPILLWAY PER MAG STD. DTL. 206.

◆ **STORM DRAIN NOTES:**

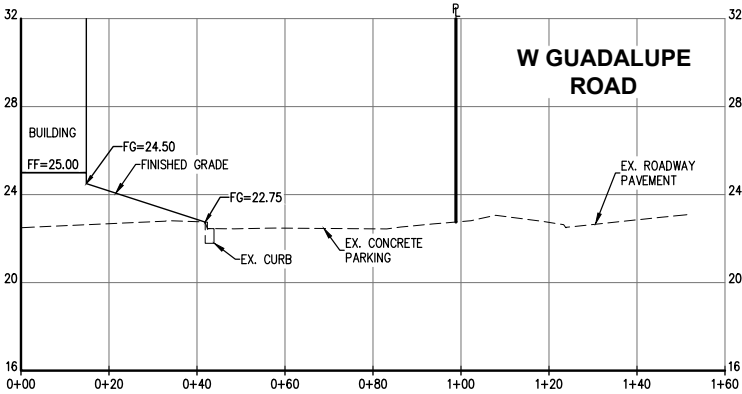
1. CONSTRUCT CONCRETE CATCH BASIN TYPE 'G' PER M.A.G. STD. DTL. 537.
2. CONSTRUCT 12" HDPE STORM DRAIN PIPE (ADS N-12 OR EQUAL).
3. PLACE LOOSE RIPRAP (D50-6") WITH FILTER FABRIC UNDERLAYMENT.
4. CONSTRUCT "U" TYPE HEADWALL PER M.A.G. STD. DTL. 501-1.



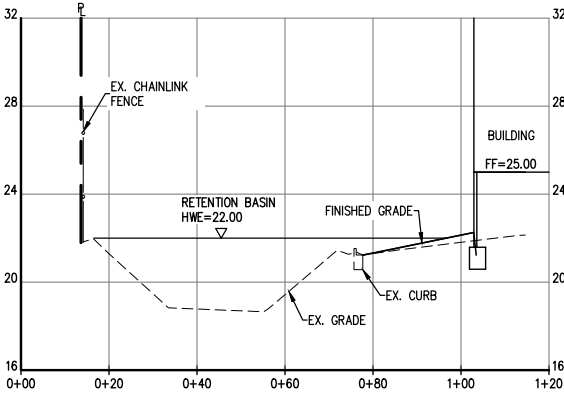
PRELIMINARY CROSS SECTIONS



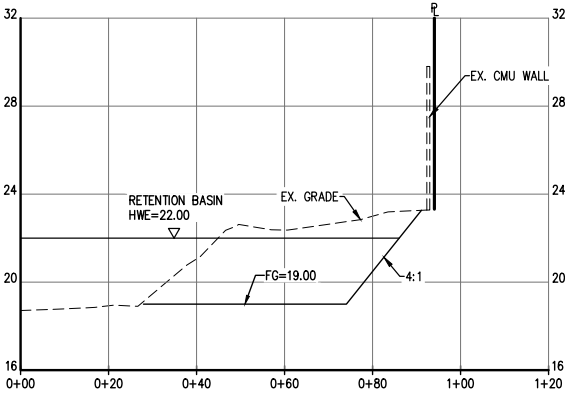
SECTION A-A



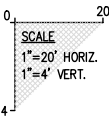
SECTION B-B



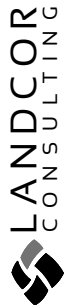
SECTION C-C



SECTION D-D



6859 E Rembrandt Ave. #124
Mesa, AZ 85205
Phone: 480.225.5573
landcorconsulting.com



BUSHTEX, INC.
SITE IMPROVEMENT PLAN
GILBERT, ARIZONA

REVISIONS:	DATE:		

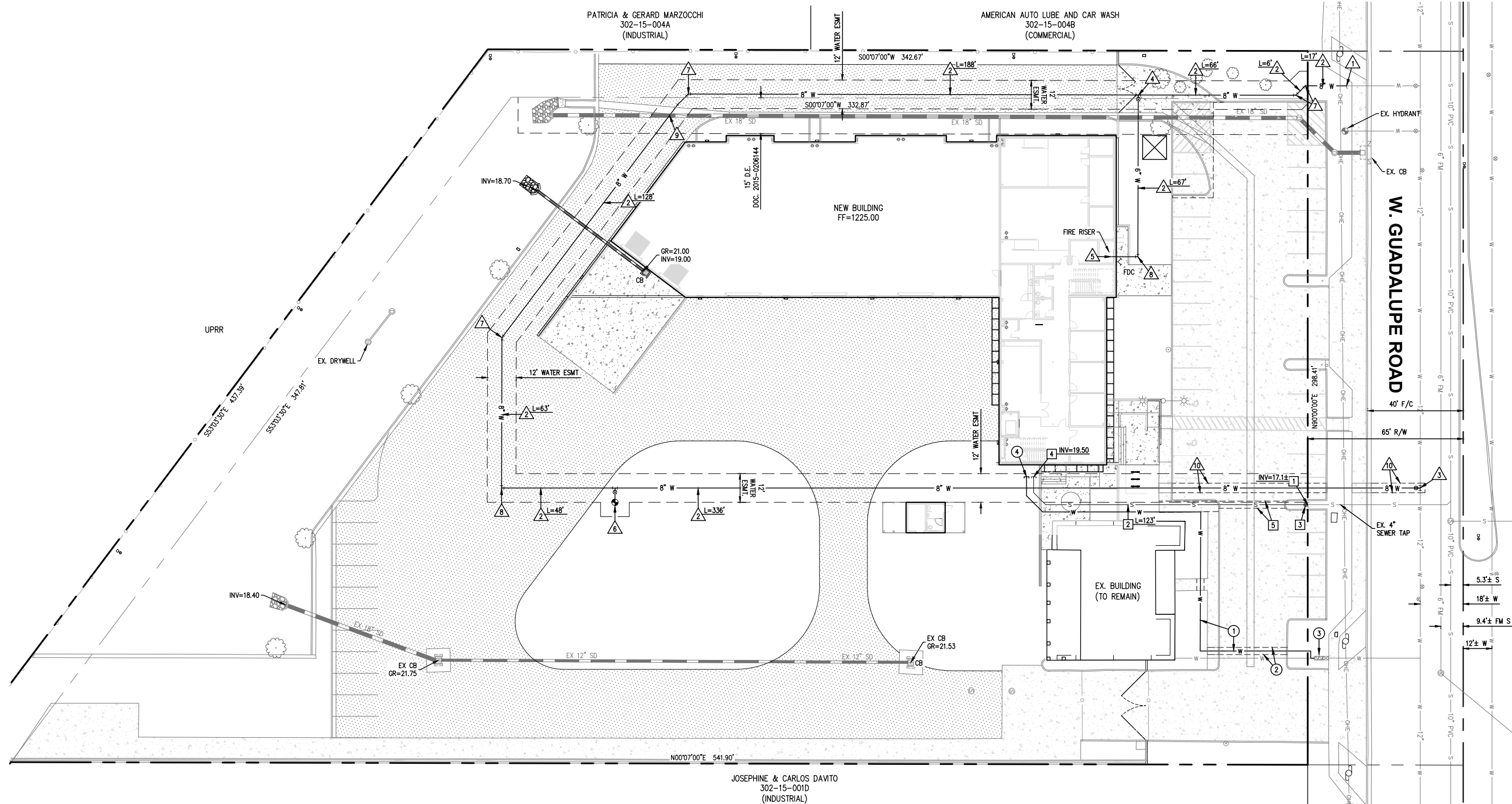
TITLE:
CROSS SECTIONS

DATE: 4/30/20

PROJ. #: 1671

C-4

PRELIMINARY SITE UTILITY PLAN



CONSTRUCTION NOTES

SEWER

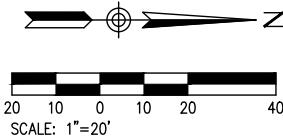
- CONNECT TO EXISTING SEWER STUB. CONTRACTOR SHALL VERIFY SEWER INVERT ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- TRENCH & INSTALL 4" PVC (SDR-35) SEWER PIPE. BEDDING PER T.O.G. STD. DTL. GIL-401.
- CONSTRUCT SEWER CLEANOUT PER M.A.G. STD. DTL. 441.
- CONNECT TO BUILDING PLUMBING AT 5' FROM FACE OF BUILDING (SEE PLUMBING PLANS FOR CONTINUATION).
- SAWCUT, REMOVE, AND REPLACE EXISTING CONCRETE, CURB, AND SIDEWALK. REMOVE CURB AND SIDEWALK TO NEAREST CONTROL JOINT. REPLACE ALL ITEMS IN KIND.

DOMESTIC WATER

- TRENCH & INSTALL 2" DOMESTIC WATER SERVICE PIPE (SCHEDULE 80 PVC OR APPROVED EQUAL).
- SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT, C&G, AND SIDEWALK. REMOVE C&G AND SIDEWALK TO NEAREST CONTROL JOINT. REPLACE ALL ITEMS IN KIND PER M.A.G. STD. DTL. 200-1.
- EX. 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (VERIFY) PER T.O.G. STD. DTL. GIL-350.
- CONNECT TO BUILDING PLUMBING AT 5' FROM FACE OF BUILDING (SEE PLUMBING PLANS FOR CONTINUATION).

FIRE

- REMOVE CAP AND CONNECT TO EXISTING FIRE LINE. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE OF EXISTING UNDERGROUND LINES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- INSTALL PVC C-900 (CLASS 150) WATER PIPE (SIZE PER PLAN).
- INSTALL 12"x8" TAPPING SLEEVE AND VALVE PER MAG STD. DTL. 340.
- INSTALL 8"x6" TEE WITH CONCRETE THRUST BLOCK PER M.A.G. STD. DTL. 380. INSTALL 6" GATE VALVE AND VALVE BOX WITH DEBRIS CAP PER M.A.G. STD. DTL. 391.
- STUB FIRE SPRINKLER LINE AT 6" ABOVE FINISHED FLOOR. FIRE RISER INSTALLATION SHALL COMPLY WITH NFPA 24. SEE BUILDING FIRE SPRINKLER PLANS FOR CONTINUATION.
- INSTALL FIRE HYDRANT COMPLETE PER T.O.G. STD. DTL. GIL-320.
- INSTALL 45° BEND WITH THRUST BLOCKS PER MAG STD. DTL. 380.
- INSTALL 90° BEND WITH THRUST BLOCKS PER MAG STD. DTL. 380.
- VERTICAL WATERLINE REALIGNMENT PER MAG STD. DTL. 370.
- SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT, C&G, AND SIDEWALK. REMOVE C&G AND SIDEWALK TO NEAREST CONTROL JOINT. REPLACE ALL ITEMS IN KIND PER M.A.G. STD. DTL. 200-1, 220, & 230.



BUSHTEX, INC.
SITE IMPROVEMENT PLAN
GILBERT, ARIZONA

REVISIONS:	DATE:

TITLE:
SITE UTILITY
PLAN

DATE: 4/30/20

PROJ. #: 1671

C-5

5 of 5

6859 E Rembrandt Ave. #124
Mesa, AZ 85205
Phone: 480.232.6573
landcorconsulting.com



BLD

MATERIALS BOARD



FIELD COLOR

TILT-WALL OR STUCCO
SHERWIN WILLIAMS
IVOIRE SW 6127



BASE COLOR

TILT-WALL OR STUCCO
SHERWIN WILLIAMS
INDEPENDENT GOLD SW 6401

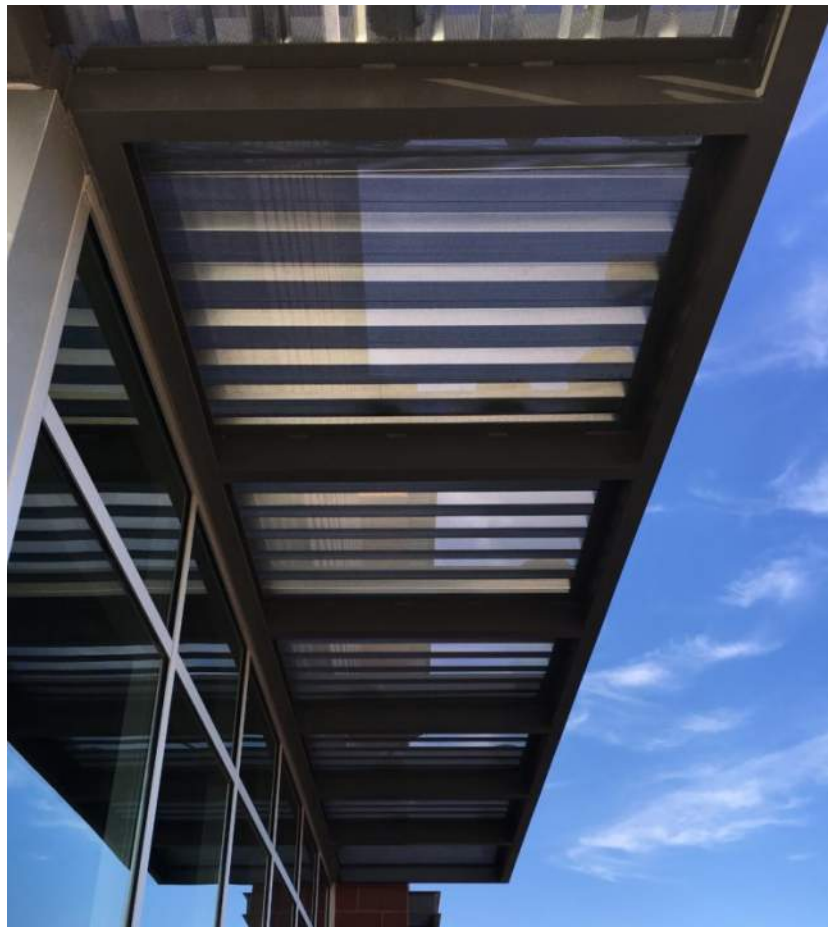


ACCENT COLOR

TILT-WALL OR STUCCO OR METAL
COLOR TO MATCH LOGO OF CLIENT, BUSHTEX

GLAZING

SOLAR BAN 70XL - GREEN



DR20-47: BushTex
Attachment 9 - Elevations 9

HJF

602 758 7437
helmutjohn@hotmail.com

PROJECT ISSUE: SIGN REVIEW

NOT FOR
CONSTRUCTION
PRICING OR
PERMITTING

04/20



PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approver



ISHTEX.....

USHTEX
UILDING

3 E GUADALUPE RD
ALBERTAZ 85233

[illegible]

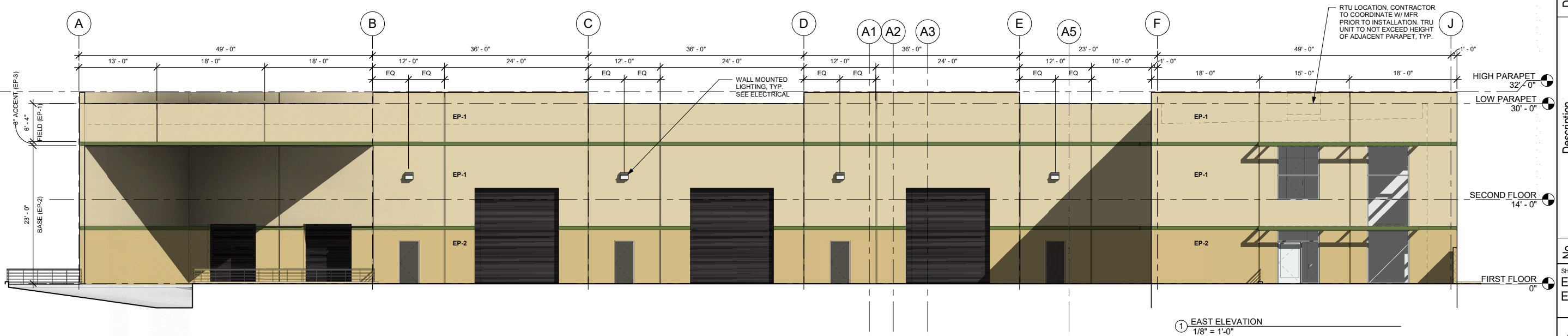
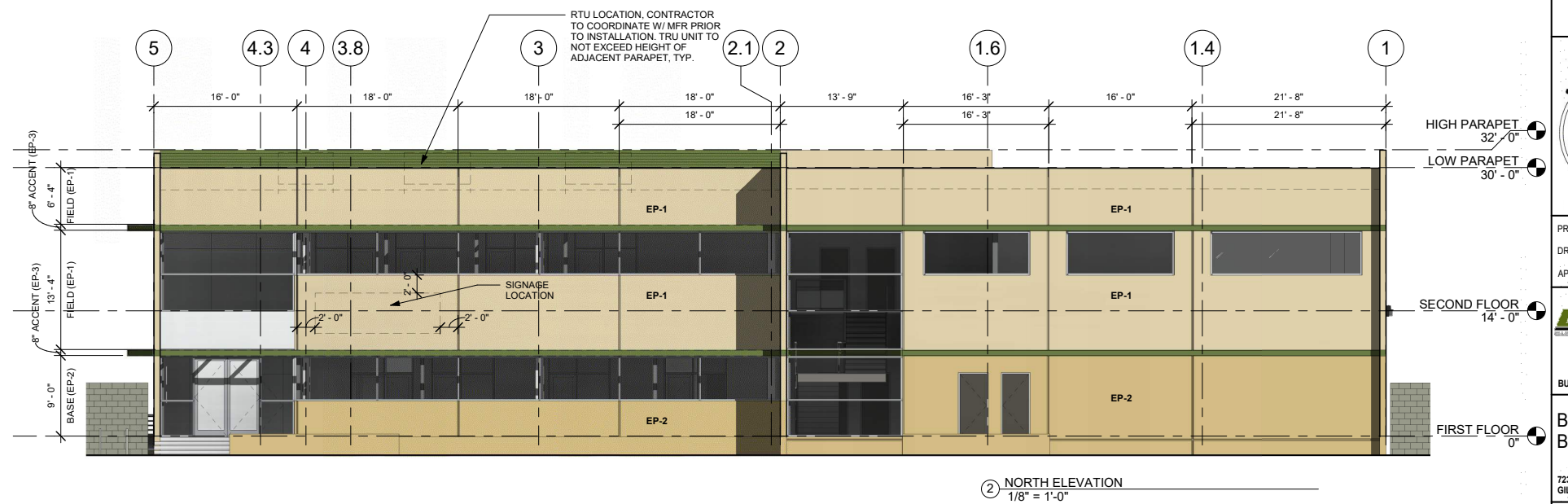
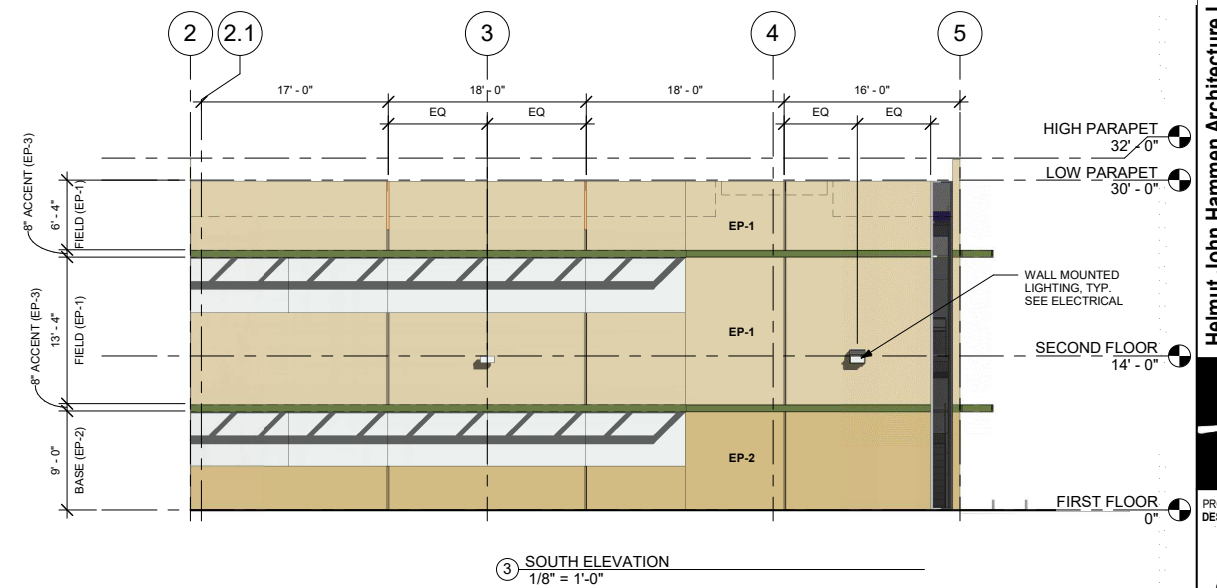
MEET TITLE
EXTERIOR
ELEVATIONS

A301

ELEVATION LEGEND



GLAZING
SOLAR BAN 70XL - GREEN



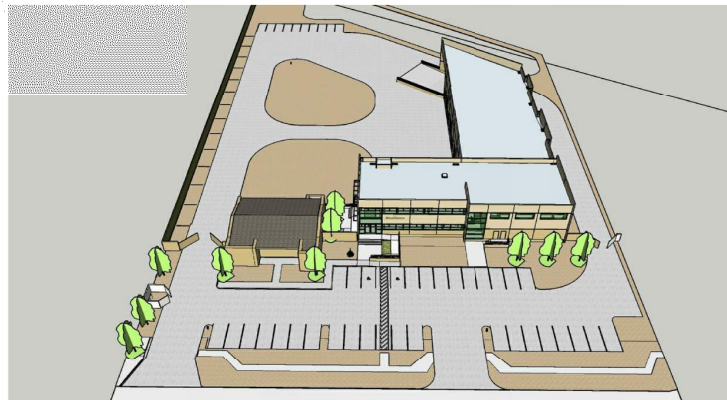
\\HELMUTSPC\Data\Projects\1953 - Bush Tex\Design\Rev\1953-BushTex.rvt

EP-1

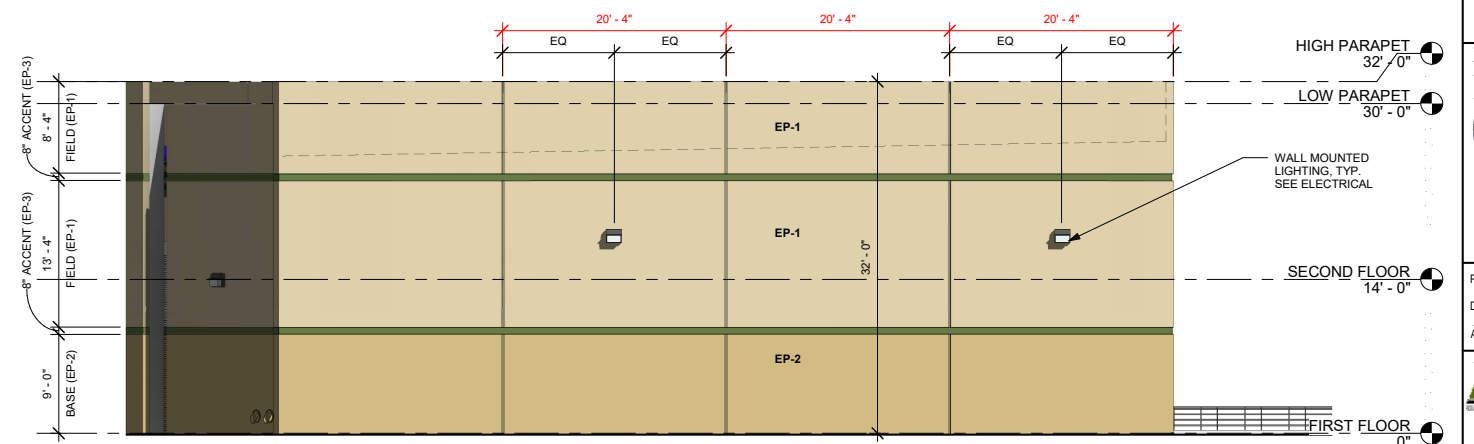
EP-2

EP-3

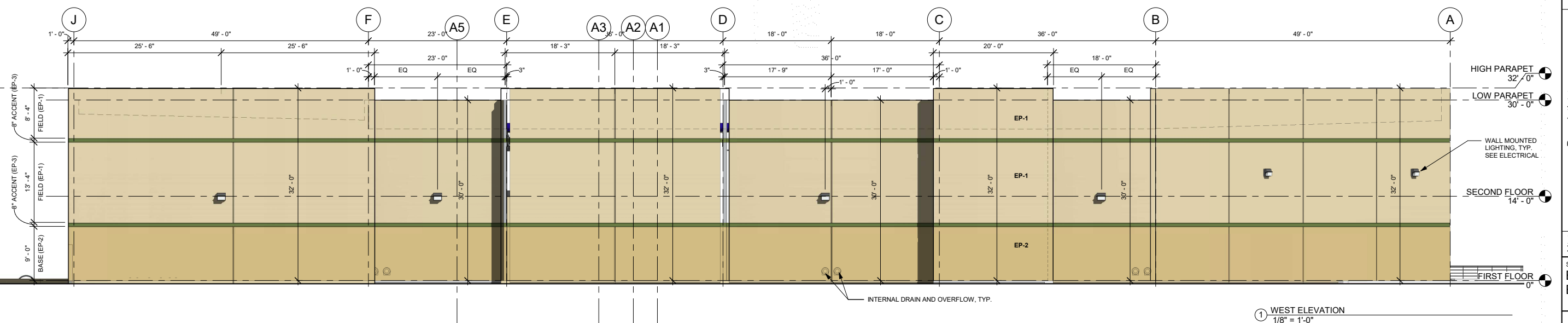
A large, modern window with a dark frame, reflecting the surrounding environment and showing a view of a building interior. The window is set into a light-colored wall, and the reflection shows a dark structure and some greenery. The interior view shows a bright, white space with a window and some architectural details.



③ SOUTH EAST ELEVATION
1/8" = 1'-0"



② SOUTH WEST ELEVATION
1/8" = 1'-0"



① WEST ELEVATION
1/8" = 1'-0"

~~WAK~~

NOT FOR
CONSTRUCTION
PRICING OR
PERMITTING

04/20



PROJECT NUMBER: 191953

AWN BY: **Author**

APPROVED BY: Approver



ISHTEX.....

USHTEX
UILDING

3 E GUADALUPE RD
ALBERTAZ 85233

NO.	Description	Date

SHEET TITLE
EXTERIOR
ELEVATIONS

A302

helmutjohn@hotmail.com

602 758 7437

Attachment 10 - Floor Plans

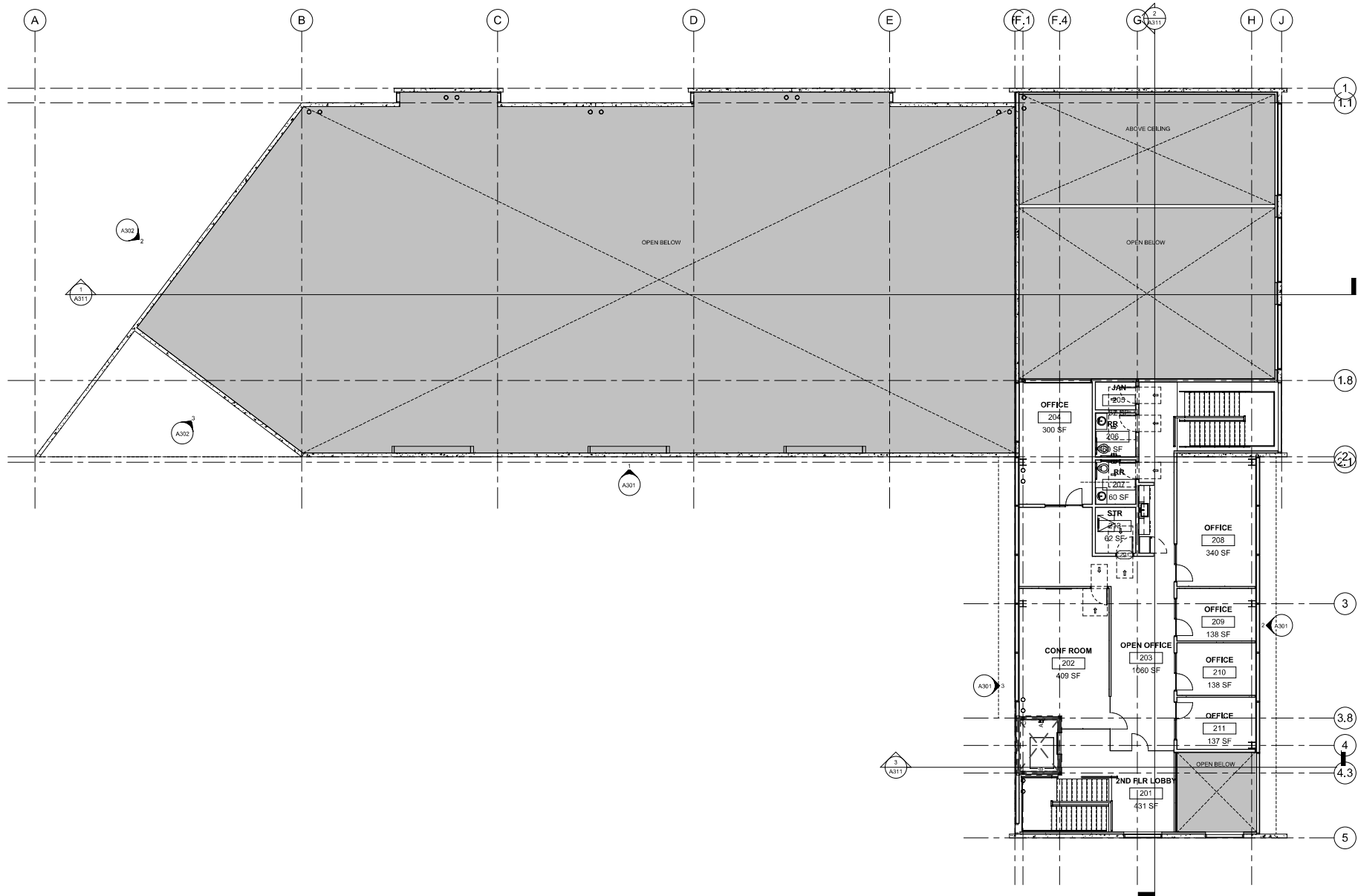
GENERAL NOTES - FLOOR PLAN

- REFER TO "G" AND "LS" SERIES FOR GENERAL PROJECT INFORMATION THAT APPLIES TO THESE SHEETS, INCLUDING PROJECT GENERAL NOTES, ARCHITECTURAL FINISH FLOOR REFERENCE INFORMATION, SHEET INDEX, ARCHITECTURAL SYMBOLS THAT ARE USED THROUGHOUT, CODE AND EXISTING INFORMATION, CODE RELATED CONSTRUCTION INFORMATION AND REQUIREMENTS, AND ANY OTHER PROJECT GENERAL INFORMATION ELEMENTS.
- PROVIDE INTERIOR PARTITIONS WITH MOISTURE RESISTANT GWB AT ALL WET AREA LOCATIONS, AS MAY OCCUR. PROVIDE 5/8" CEMENTITIOUS BACKER BOARD AT ALL GWB LOCATIONS WITH CERAMIC TILE WALL FINISH. PROVIDE FIREBLOCKING WHERE REQUIRED AT ALL FIRE RATED WALL FRAMING INTERSECTIONS OF SOFFITS, SUSPENDED CEILINGS, AROUND PIPE/DUCT PENETRATIONS, OR ANY OTHER SIMILAR LOCATIONS IN WALL/CILING CONSTRUCTION WHERE FIRE COULD PASS. CONTRACTOR TO INSURE CONTINUITY OF RATED CONSTRUCTION CONDITIONS AS SHOWN IN THESE PLANS AND COORDINATED WITH "LS" SERIES DRAWINGS FOR ALL REQUIRED CONDITIONS AS OCCUR, INCLUDING ANY RELATED STRUCTURAL WALLS, PARTITIONS SEALED TO STRUCTURAL DECK, CORRIDORS, CEILINGS, SHAFTS, ENCLOSURES, ETC.
- REFER TO BUILDING ELEVATIONS FOR DIMENSIONS (HORIZONTAL AND VERTICAL) AND DETAIL REFERENCES FOR ANY MISCELLANEOUS PUNCHED OPENINGS IN EXTERIOR WALLS THAT ARE NOT SHOWN ON THESE PLANS.
- DEPTH OF FOOTINGS AND/OR PENETRATIONS THROUGH STEMS FOR INSTALLATION OF ANY SUBGRADE UTILITIES AND THE LIKE SHALL BE COORDINATED WITH STRUCTURAL PRIOR TO ANY PLACEMENT.
- ALL INTERIOR AND EXTERIOR STEEL ELEMENTS SHALL BE PAINTED AS SCHEDULED.
- DIMENSIONS ARE FROM COLUMN CENTERLINE, EDGE OF CONCRETE, METAL STUD CENTERLINE, U.N.O. CONTRACTOR TO PROVIDE METAL BLOCKING AS NECESSARY FOR ANY WALL MOUNTED ITEMS OR ACCESSORIES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS PRIOR TO BEGINNING ANY CONSTRUCTION OR FABRICATION, AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- ALL DOORS TO BE 4" FROM FACE OF ADJACENT GYPSUM BOARD OF PERPENDICULAR WALL TO EDGE OF DOOR, U.N.O. IF A DIMENSION IS SHOWN, THIS WILL NOT INDICATE DISTANCE FROM FACE OF GYPSUM BOARD TO EDGE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO ENSURE PROPER FIT PRIOR TO MANUFACTURING ANY MILLWORK OR ORDERING ANY SPECIALTY ITEMS OR EQUIPMENT.
- REFER TO AMERICAN DISABILITIES ACT (A.D.A.) FOR ALL MOUNTING HEIGHTS, DOOR CLEARANCES, ETC.
- PROVIDE FIRE RATED EXTINGUISHER CABINET WHEN LOCATED IN RATED PARTITION.
- PROVIDE TWO LAYERS OF 1/2" PLYWOOD ON WALLS IN ALL IDF AND MDF ROOMS. COORDINATE WITH ARCHITECT AND OWNER LOCATION AND EXTENT OF INSTALLATION.
- FIRE ALARM CONTROL PANEL TO BE INSTALLED WITHIN FIRE RISER ROOM PER LOCAL AMENDMENT 907.1.3.1

1 FIRST FLOOR - FLOOR PLAN
1/8" = 1'-0"

A201

602 758 7437



① SECOND FLOOR - FLOOR PLAN
1/8" = 1'-0"

Helmut John Hammen Architecture LLC

AND
SCOTTSDALE, AZ 85251
8337 E. MONTEREY WAY
802.756.7437
helmutjohn@tollmail.com



PROJECT ISSUE:
DESIGN REVIEW
DESIGN REVIEW
AND
PRELIMINARY
PRICING ONLY.
NOT FOR
CONSTRUCTION
OR PERMITTING
02/26/25



PROJECT NUMBER: 1919853
DRAWN BY: Author
APPROVED BY: Approver



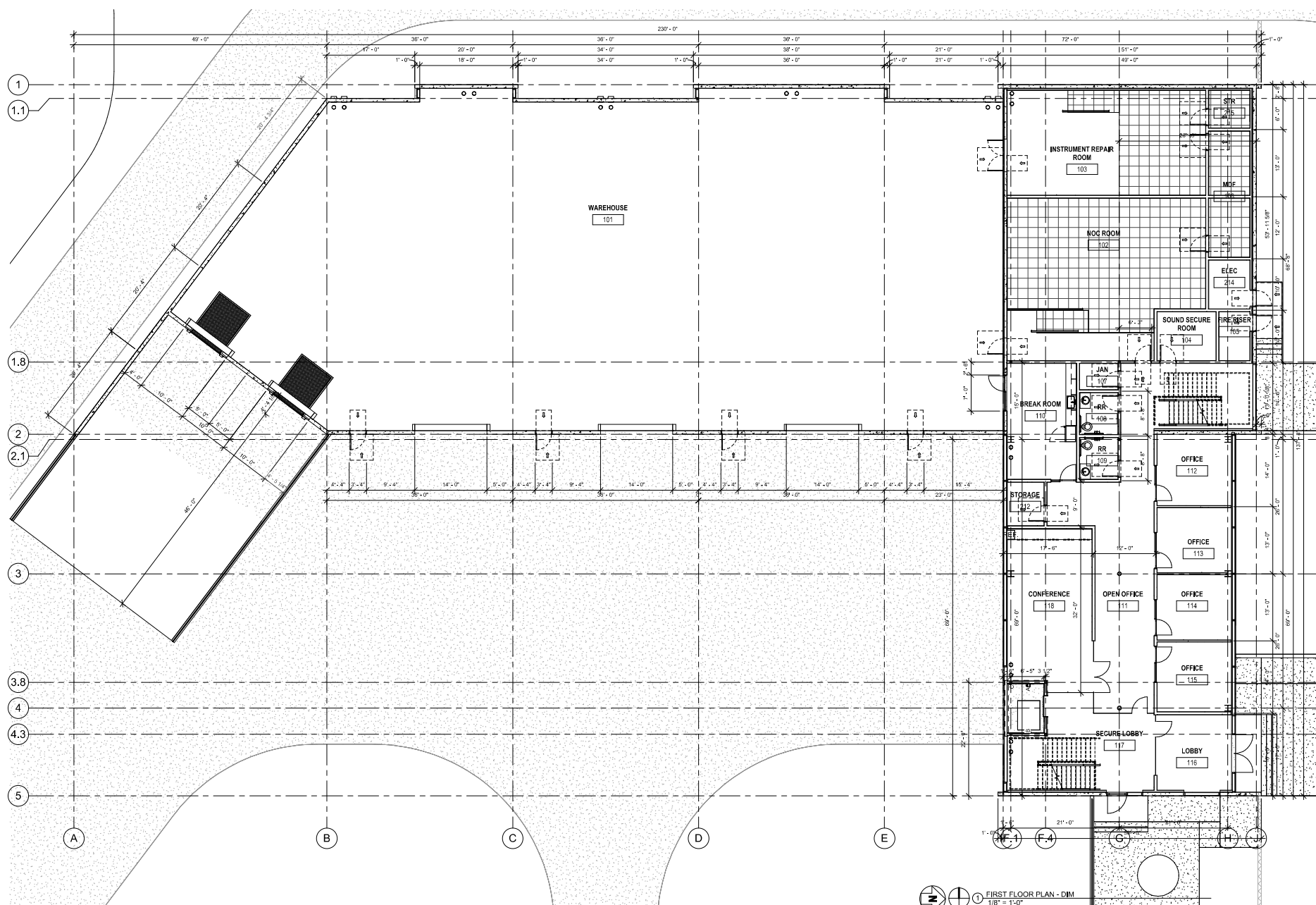
BUSHTEX
BUSHTEX BUILDING

723 E GUADALUPE RD
GILBERT, AZ 85233

No.	Date	Description

SECOND
FLOOR - FLOOR
PLAN

A202



Helmut John Hammen Architecture LLC

PROJECT ISSUE:
DESIGN REVIEW

PROJECT NUMBER: 191953



BUSHTEX


723 E GUADALUPE RD
GILBERT AZ 85233

SHEET TITLE
FIRST FLOOR -
DIM PLAN

Helmut John Hammen Architecture LLC
HJH Architecture LLC
8337 E. MONTEREY WAY
602/758 7437
SCOTTSDALE AZ 85251
helmutjohn@hotmail.com

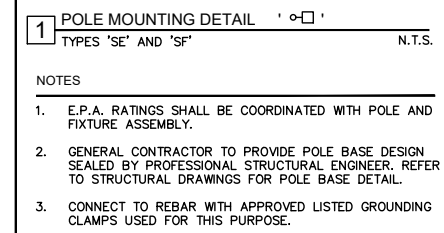


DESIGN REVIEW
AND
PRELIMINARY
PRICING ONLY.
NOT FOR
CONSTRUCTION
OR PERMITTING

BUSHTEX
BUILDING

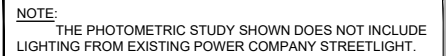
--	--	--	--	--	--	--	--

SHEET TITLE
ELECTRICAL
SITE LIGHTING
PLAN



NOTES

1. E.P.A. RATINGS SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
2. GENERAL CONTRACTOR TO PROVIDE POLE BASE DESIGN SEIGNED BY PROFESSIONAL STRUCTURAL ENGINEER. REFER TO STRUCTURAL DRAWINGS FOR POLE BASE DETAIL.
3. CONNECT TO REBAR WITH APPROVED LISTED GROUNDING CLAMPS USED FOR THIS PURPOSE.



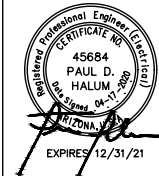
STATISTICS:						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST PROPERTY LINE	✕	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
NORTH PROPERTY LINE	✕	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
SOUTH PROPERTY LINE	✕	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
WEST PROPERTY LINE	✕	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
SITE	+	1.3 fc	21.2 fc	0.0 fc	N/A	N/A
TRUCK DOCK RAMP	+	8.1 fc	10.1 fc	6.0 fc	1.7:1	1.4:1

NOTE:
* ILLUMINANCE LEVEL TAKEN AT 5FT ABOVE GROUND LEVEL

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST PROPERTY LINE	✕	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
NORTH PROPERTY LINE	✕	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
SOUTH PROPERTY LINE	✕	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
WEST PROPERTY LINE	✕	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
SITE	+	1.3 fc	21.2 fc	0.0 fc	N/A	N/A
TRUCK DOCK RAMP	+	8.1 fc	10.1 fc	6.0 fc	1.7:1	1.4:1

NOTE: THE PHOTOMETRIC STUDY SHOWN DOES NOT INCLUDE LIGHTING FROM EXISTING POWER COMPANY STREETLIGHT.

deDesign Group, LLC
Electrical Design and Consulting
2415 East Camelback Road., Suite 700,
Phoenix, AZ 85016
T 602-553-1191 C 602-570-9107
Proj. Mgr: Paul H. Proj. No: 20-027



PROJECT NUMBER:191953

DRAWN BY: Author

APPROVED BY: Approve



BUSHTEX

BUSHTEX
BUILDING

723 E GUADALUPE RD
GILBERTAZ 85233

[illegible]

SHEET TITLE
SITE LIGHTING
PHOTOMETRIC
PLAN

PH100





Catalog Number	CNY LED P2 40K
Notes	
Type	SC

Contractor Select™

CNY LED

Canopy Lighting

The CNY LED canopy luminaires are versatile, energy-efficient solutions for surface-mount applications. Available in two sizes, these luminaires can replace a wide range of existing canopy luminaires; anything from CFL to 400W metal halide. An LED array light source coupled with a translucent acrylic lens creates visually comfortable illumination that is far superior to similar products that use a single bright LED and clear lenses. Smooth sides greatly enhance the aesthetic of this product making suitable for wider range of applications than industrial-looking flined products.

FEATURES:

- Energy efficient – Can save up to 80% when replacing metal halide
- LED array light source and translucent lens for visually comfortable illumination
- Mount-oust feature eliminates the need to open luminaire for installation
- DLC Premium listed









Catalog Number	UPC	Description	Replaces Up To	Lumens	Wattage	CCT	Voltage	Finish	Pallet qty.
CNY LED P1 40K NYOXT DDB	791848093320	CANOPY LUMINAIRE	150W METAL HALIDE	4,500	30W	4000K	120-277V	DARK BRONZE	48
CNY LED P2 40K NYOXT DDB	791848093344	CANOPY LUMINAIRE	175W METAL HALIDE	6,400	52W	4000K	120-277V	DARK BRONZE	48
CNY LED P3 40K NYOXT DDB	791848093463	CANOPY LUMINAIRE	400W METAL HALIDE	11,000	80W	4000K	120-277V	DARK BRONZE	36

CONTRACTOR SELECT CNY LED

Page 1 of 2

Specifications

INTENDED USE:

CNY LED canopy luminaires are ideal for surface mount applications such as canopies over building entrances, walkways, loading docks and covered parking areas. The product's traditional style does not detract from current building aesthetics, creating a seamless upgrade. These products are ideal energy-efficient replacements of existing surface mount products, from compact fluorescent to 400W metal halide.

CONSTRUCTION:

CNY LED canopy luminaires have a cast-aluminum housing with a polyester powder coat finish for lasting durability. Translucent acrylic lens is designed for uniform light distribution while providing visually comfortable illumination. The lens is sealed to the housing with a one-piece gasket to prevent the entrance of insects or external contaminants. Available in two sizes: 10" x 10" (P1, P2) and 14" x 14" (P3).

ELECTRICAL:

The CNY LED canopy luminaires use an array of LED's on a metal core circuit board, creating a dispersed light source which reduces surface brightness. High efficiency LEDs maintain 70% of light output at 50,000 hours of service life (L70/50,000 hours). A C-Related Color Temperature (CCT) of 4000K matches that of metal halide for seamless upgrade. CNY LED canopy luminaires use M120 (120-277V) drivers with power factor >0.90 and THD <20%.

INSTALLATION:

The CNY LED canopy luminaires feature a quick mount mechanism that makes mounting to a recessed junction box both quick and trouble-free. Luminaires lead out the back of the casting through a water tight connector. The quick mount mechanism allows the electrical connections to be made and the luminaire balanced in place without the need for disassembling the luminaire. These 3/4" NPT conduit entry points allow surface and/or wiring. The luminaires can be also be pendant mounted with 3/4" NPT pendant stems (provided by others).

LISTINGS:

UL Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards. Designlight Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products list at www.designlight.org/DLP to confirm which versions are qualified. Can be used to comply with California Title 24 Part 6 High-Efficiency LED Light Source Requirements.

WARRANTY:

5-year limited warranty. Complete warranty terms located at: www.cs-lighting.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

Dimensions

CNY LED P1/P2

Width: 10"
Height: 10"
Depth: 4 1/16"

CNY LED P3

Width: 14"
Height: 6 1/4"
Depth: 14"

All dimensions are inches [centimeters] unless otherwise indicated.

One Lithonia Way, Conyers, GA 30012 | 770-922-0000 | www.lithonia.com
© 2018-2019 Acuity Brands Lighting, Inc. All rights reserved. Rev. 10/2019

CONTRACTOR SELECT CNY LED
Page 2 of 2

KAXW LED Wall Luminaire

Catalog Number	KAXW LED P1 40K R3 MYOLT HS
Notes	
Type	SD

For the full list of models see this page or see all interactive documents.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked with a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.

Specifications

Length 14" (354mm)

Width 12" (305mm)

Height 5" (127mm)

Weight 19.7 lbs (8.9 kg)

A+ Capable option is indicated by this colored background.

Ordering Information

EXAMPLE: KAXW LED P3 40K R3 MYOLT DBDXD

KAXW LED									
Series	Performance package	Color temperature	Distribution	Voltage	Mounting	Control options	Shipping options	Finish options	Back cover
KAXW LED	P1	30K 4000 K	R3 Type 1	MYOLT 120V	Shipped included Black Surface mounting bracket	PER NBNB twist lock magnetic only (photocontrolled) PERBS Free wire magnetic only (photocontrolled) PERF Sensor wireless only (photocontrolled)	Shipped installed SF SinglePlex (120, 277 or 347V) DF Double type (208, 240 or 347V) EE Haze-free shield LC Lead Conduit Entry RCE Rigid Conduit Entry	Shipped separately EGB EGB Backlight Shield EGS External glass shield	DBDD Dark bronze DBLK Black DBAL Natural aluminum DWHS White DSND Sandstone DTXD Teard drop finish DELDO Teard drop black DNATX Teard natural aluminum DTWH Teard white sandstone
	P2	30K 4000 K	R4 Type 4	MYOLT 120V		PR 180° motion ambient light sensor, C15 1/2"			
	P3	50K 5000 K	R4 Type 4	277V 347V 480V		PRH Field adjustable output PRIFCN Bi-level, motion/ambient sensor 15-37 mounting height, ambient sensor enabled at 15'			
						PRHTCN Bi-level, motion/ambient sensor 8-15 mounting height, ambient sensor enabled at 15'			

NOTES

- MYOLT driver operates on any line voltage from 100-277V (50/60 Hz).
- Not available in the P1 performance package.
- Not available with ROAM or XPoint systems. See PER or PERF option.
- Standard ordered and shipped as a separate live item from Acuity Brands Controls. See Accessories information.
- If FCC mark required, it must be displayed and shipped as a separate live item from Acuity Brands Controls.
- Specify the Sensor Switch MCO-D-CO control. See Controls/Controls section for details. Ordering glass shield? Not available with PER or PERF. Must specify 120V or 277V because PER or separate/glass.

- Not available with PERBS or PERF options.
- Must specify 120, 277, or 347V option.
- Must specify 208, 240, or 347V option.
- Requires inverter supplied by EMT rating listing.
- Adjustment limited to bi-passive with PER, PERF or P3 option.
- Ordered and shipped as a separate live item from Acuity Brands Controls.

Accessories

Ordered and shipped separately

RLU271 L330	Parted - "SL back box 270V"
RLU445 L1018 R	Parted - "SL back box 1018V"
S20M1248 S	Start cap
NWWS10	Wireless switch
NSWWS10	Net wireless switch
NWWS20	Euroball glass shield

One Lithonia Way • Cary, Georgia 30132 • Phone: 800.279.8041 • www.lithonia.com
© 2011-2019 Acuity Brands Lighting Inc. All rights reserved.

KAXW LED Rev. 02/15/19 Page 1 of 3

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	3xL GGX250 (T=5)					4xL GGX250 (T=5)					5xL GGX250 (T=5)				
			Lumens	f	s	t	T _A =5	Lumens	f	s	t	T _A =5	Lumens	f	s	t	T _A =5
P1	29W	R3	3,322	1	0	1	115	3,546	1	0	1	121	3,697	1	0	1	124
		R4	3,455	1	0	1	118	3,643	1	0	1	126	3,792	1	0	1	128
P2	49W	R3	5,931	1	0	1	117	6,155	1	0	1	120	6,422	1	0	1	127
		R4	5,891	1	0	1	120	6,285	1	0	1	126	6,596	1	0	1	131
P3	79W	R3	8,862	1	0	1	112	9,445	2	0	2	120	9,611	2	0	2	122
		R4	9,089	2	0	2	115	9,708	2	0	2	121	9,879	2	0	2	125

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 65°F (19°C) to 122°F.

* Shaded cells include active dynamic temperature sensing.

Ambient	Lumen Multiplier		
	P1	P2	P3
65°	1.05	1.05	1.05
70°	1.03	1.03	1.03
75°	1.01	1.01	1.01
80°	1	1	1
85°	0.99	0.99	0.99
90°	0.97	0.97	0.93
95°	0.96	0.96	0.84
100°	0.95	0.95	0.84

Electrical Load

Package		100V	200V	240V	277V	347V	480V
P1	Current (ft.)	0.24A	0.14A	0.13A	0.11A	-	-
	System Watts	29W	29W	29W	29W	-	-
P2	Current (ft.)	0.41A	0.24A	0.21A	0.16A	0.1A	0.11A
	System Watts	49W	49W	49W	49W	47W	47W
P3	Current (ft.)	0.66A	0.38A	0.33A	0.26A	0.2A	0.21A
	System Watts	79W	79W	79W	79W	77W	10W

Projected LED Lumen Maintenance

Operating Hours	25,000	50,000	100,000
Lumen Maintenance Factor	>0.94	>0.89	>0.80

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

PEN Table				
Control	FEB (1 min)	PERC (5 sec)	PER7 (7 min)	Miscellaneous
Photocontrol Day (200H)	✓	⚠️ Wrench-drawing fault or short	⚠️ Wrench-drawing fault or short	When Capacitive Filter
SIGMA	✓	⚠️ Wrench-drawing fault or short	⚠️ Wrench-drawing fault or short	When Capacitive Filter
DIMM with Bicolor (SCM and sig)	✗	⚠️ When Capacitive Filter	⚠️ When Capacitive Filter	When Capacitive Filter
Bicolor-pro®	✗	⚠️ Wrench-drawing fault or short	⚠️ Wrench-drawing fault or short	When Capacitive Filter
Bicolor-pro® with Bicolor	✗	⚠️ When Capacitive Filter	✓ When Capacitive Filter	When Capacitive Filter
✓ Recommended				
⚠️ Not Recommended				
✗ Prohibited				

*Open-pulse means fully-to-edge control in the future.

One Lithonia Way • Cary, Georgia 20012 • Phone: 800.279.8041 • www.lithoniam.com
© 2011-2019 Acuity Brands Lighting, Inc. All rights reserved.

EAGLE-LED Rev. 10/17/19 Page 2 of 3

CSXW LED LED Wall Luminaire

CONTOUR®

Specifications

Height:	7-1/8" (22.2 cm)
Width:	16-3/8" (41.6 cm)
Depth:	9-5/16" (23.6 cm)
Weight (max):	30 lbs (13.6 kg)

Catalog Number SA: CSXW LED 30C 1000 40K T2M

Notes SB: CSXW LED 30C 1000 40K T3M

Type 'SA' & 'SB'

Use the tabular mouse over the page to see all interactive elements.

Introduction

The Contour® Series luminaires offer traditional square daylights with softened edges for a versatile look that complements many applications.

The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT DDBXD

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish (selected)
CSXW LED	DMK 30 LEDs	700 700 mA 1000 1000 mA	4000K 5000K	T3M Type I, medium T3M Type II, medium T3M Type III, medium T3M Type IV, medium T3M Type V, medium T3M Type VI, medium T3M Type VII, medium T3M Type VIII, medium T3M Type IX, medium T3M Type X, medium T3M Type XI, medium T3M Type XII, medium T3M Type XIII, medium T3M Type XIV, medium T3M Type XV, medium T3M Type XVI, medium T3M Type XVII, medium T3M Type XVIII, medium T3M Type XIX, medium T3M Type XX, medium T3M Type XXI, medium T3M Type XXII, medium T3M Type XXIII, medium T3M Type XXIV, medium T3M Type XXV, medium T3M Type XXVI, medium T3M Type XXVII, medium T3M Type XXVIII, medium T3M Type XXIX, medium T3M Type XXX, medium T3M Type XXXI, medium T3M Type XXXII, medium T3M Type XXXIII, medium T3M Type XXXIV, medium T3M Type XXXV, medium T3M Type XXXVI, medium T3M Type XXXVII, medium T3M Type XXXVIII, medium T3M Type XXXIX, medium T3M Type XL, medium T3M Type XLI, medium T3M Type XLII, medium T3M Type XLIII, medium T3M Type XLIV, medium T3M Type XLV, medium T3M Type XLVI, medium T3M Type XLVII, medium T3M Type XLVIII, medium T3M Type XLIX, medium T3M Type L, medium T3M Type LI, medium T3M Type LII, medium T3M Type LIII, medium T3M Type LIV, medium T3M Type LV, medium T3M Type LVI, medium T3M Type LVII, medium T3M Type LVIII, medium T3M Type LIX, medium T3M Type LX, medium T3M Type LXI, medium T3M Type LXII, medium T3M Type LXIII, medium T3M Type LXIV, medium T3M Type LXV, medium T3M Type LXVI, medium T3M Type LXVII, medium T3M Type LXVIII, medium T3M Type LXIX, medium T3M Type LXX, medium T3M Type LXXI, medium T3M Type LXXII, medium T3M Type LXXIII, medium T3M Type LXXIV, medium T3M Type LXXV, medium T3M Type LXXVI, medium T3M Type LXXVII, medium T3M Type LXXVIII, medium T3M Type LXXIX, medium T3M Type LXXX, medium T3M Type LXXXI, medium T3M Type LXXXII, medium T3M Type LXXXIII, medium T3M Type LXXXIV, medium T3M Type LXXXV, medium T3M Type LXXXVI, medium T3M Type LXXXVII, medium T3M Type LXXXVIII, medium T3M Type LXXXIX, medium T3M Type XL, medium T3M Type XLI, medium T3M Type XLII, medium T3M Type XLIII, medium T3M Type XLIV, medium T3M Type XLV, medium T3M Type XLVI, medium T3M Type XLVII, medium T3M Type XLVIII, medium T3M Type XLIX, medium T3M Type L, medium T3M Type LI, medium T3M Type LII, medium T3M Type LIII, medium T3M Type LIV, medium T3M Type LV, medium T3M Type LVI, medium T3M Type LVII, medium T3M Type LVIII, medium T3M Type LIX, medium T3M Type LX, medium T3M Type LXI, medium T3M Type LXII, medium T3M Type LXIII, medium T3M Type LXIV, medium T3M Type LXV, medium T3M Type LXVI, medium T3M Type LXVII, medium T3M Type LXVIII, medium T3M Type LXIX, medium T3M Type LXX, medium T3M Type LXXI, medium T3M Type LXXII, medium T3M Type LXXIII, medium T3M Type LXXIV, medium T3M Type LXXV, medium T3M Type LXXVI, medium T3M Type LXXVII, medium T3M Type LXXVIII, medium T3M Type LXXIX, medium T3M Type LXXX, medium T3M Type LXXXI, medium T3M Type LXXXII, medium T3M Type LXXXIII, medium T3M Type LXXXIV, medium T3M Type LXXXV, medium T3M Type LXXXVI, medium T3M Type LXXXVII, medium T3M Type LXXXVIII, medium T3M Type LXXXIX, medium T3M Type XL, medium T3M Type XLI, medium T3M Type XLII, medium T3M Type XLIII, medium T3M Type XLIV, medium T3M Type XLV, medium T3M Type XLVI, medium T3M Type XLVII, medium T3M Type XLVIII, medium T3M Type XLIX, medium T3M Type L, medium T3M Type LI, medium T3M Type LII, medium T3M Type LIII, medium T3M Type LIV, medium T3M Type LV, medium T3M Type LVI, medium T3M Type LVII, medium T3M Type LVIII, medium T3M Type LIX, medium T3M Type LX, medium T3M Type LXI, medium T3M Type LXII, medium T3M Type LXIII, medium T3M Type LXIV, medium T3M Type LXV, medium T3M Type LXVI, medium T3M Type LXVII, medium T3M Type LXVIII, medium T3M Type LXIX, medium T3M Type LXX, medium T3M Type LXXI, medium T3M Type LXXII, medium T3M Type LXXIII, medium T3M Type LXXIV, medium T3M Type LXXV, medium T3M Type LXXVI, medium T3M Type LXXVII, medium T3M Type LXXVIII, medium T3M Type LXXIX, medium T3M Type LXXX, medium T3M Type LXXXI, medium T3M Type LXXXII, medium T3M Type LXXXIII, medium T3M Type LXXXIV, medium T3M Type LXXXV, medium T3M Type LXXXVI, medium T3M Type LXXXVII, medium T3M Type LXXXVIII, medium T3M Type LXXXIX, medium T3M Type XL, medium T3M Type XLI, medium T3M Type XLII, medium T3M Type XLIII, medium T3M Type XLIV, medium T3M Type XLV, medium T3M Type XLVI, medium T3M Type XLVII, medium T3M Type XLVIII, medium T3M Type XLIX, medium T3M Type L, medium T3M Type LI, medium T3M Type LII, medium T3M Type LIII, medium T3M Type LIV, medium T3M Type LV, medium T3M Type LVI, medium T3M Type LVII, medium T3M Type LVIII, medium T3M Type LIX, medium T3M Type LX, medium T3M Type LXI, medium T3M Type LXII, medium T3M Type LXIII, medium T3M Type LXIV, medium T3M Type LXV, medium T3M Type LXVI, medium T3M Type LXVII, medium T3M Type LXVIII, medium T3M Type LXIX, medium T3M Type LXX, medium T3M Type LXXI, medium T3M Type LXXII, medium T3M Type LXXIII, medium T3M Type LXXIV, medium T3M Type LXXV, medium T3M Type LXXVI, medium T3M Type LXXVII, medium T3M Type LXXVIII, medium T3M Type LXXIX, medium T3M Type LXXX, medium T3M Type LXXXI, medium T3M Type LXXXII, medium T3M Type LXXXIII, medium T3M Type LXXXIV, medium T3M Type LXXXV, medium T3M Type LXXXVI, medium T3M Type LXXXVII, medium T3M Type LXXXVIII, medium T3M Type LXXXIX, medium T3M Type XL, medium T3M Type XLI, medium T3M Type XLII, medium T3M Type XLIII, medium T3M Type XLIV, medium T3M Type XLV, medium T3M Type XLVI, medium T3M Type XLVII, medium T3M Type XLVIII, medium T3M Type XLIX, medium T3M Type L, medium T3M Type LI, medium T3M Type LII, medium T3M Type LIII, medium T3M Type LIV, medium T3M Type LV, medium T3M Type LVI, medium T3M Type LVII, medium T3M Type LVIII, medium T3M Type LIX, medium T3M Type LX, medium T3M Type LXI, medium T3M Type LXII, medium T3M Type LXIII, medium T3M Type LXIV, medium T3M Type LXV, medium T3M Type LXVI, medium T3M Type LXVII, medium T3M Type LXVIII, medium T3M Type LXIX, medium T3M Type LXX, medium T3M Type LXXI, medium T3M Type LXXII, medium T3M Type LXXIII, medium T3M Type LXXIV, medium T3M Type LXXV, medium T3M Type LXXVI, medium T3M Type LXXVII, medium T3M Type LXXVIII, medium T3M Type LXXIX, medium T3M Type LXXX, medium T3M Type LXXXI, medium T3M Type LXXXII, medium T3M Type LXXXIII, medium T3M Type LXXXIV, medium T3M Type LXXXV, medium T3M Type LXXXVI, medium T3M Type LXXXVII, medium T3M Type L				

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

11th	Dim. (mm)	Interference Pattern	System Size	Dist. Type	Beam										
					R4					R6					
					Lumen	3	U	3	U	Lumen	3	U	3	U	
3K	700mm	38C700-4	60W	90°	T3M	2,561	2	0	2	110	7,608	2	0	2	110
					T3M	2,561	2	0	2	116	8,031	2	0	2	116
					T4M	2,561	1	0	2	118	7,957	2	0	2	118
	1000mm	38C1000-4	100W	90°	T3M	5,000	1	0	2	117	8,334	1	0	2	118
					T3M	5,000	1	0	2	117	8,334	1	0	2	118
					T4M	5,121	2	0	2	109	10,402	2	0	2	109
10K	700mm	38C700-4	60W	90°	T3M	11,528	2	0	2	111	11,008	2	0	2	108
					T3M	11,735	2	0	2	113	11,932	2	0	2	108
					T4M	11,942	2	0	2	115	11,142	2	0	2	107
	1000mm	38C1000-4	100W	90°	T3M	11,528	2	0	2	111	11,008	2	0	2	108
					T3M	11,735	2	0	2	113	11,932	2	0	2	108
					T4M	11,942	2	0	2	115	11,142	2	0	2	107

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 40°C (104°F) to 35°C (95°F).

Ambient	35°C	Lumen Multiplier
6°C	32°F	1.02
15°C	59°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data relates the extrapolated lumen maintenance projections for the CSXW LED platform in 25°C ambient, based on 15,000 hours of LED testing (tested at 50A-0.0F and protected per IESNA TM-21-15).

To calculate L70, use the lumen maintenance factor that corresponds to the desired number of operating hours below or below four lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.91	0.85

Electrical Load

Number of LEDs	Drive Current (mA)	System Size (mm)	Current (A)					
			120V	200V	240V	277V	347V	480V
3K	700	60W	0.665	0.442	0.367	0.311	0.247	0.196
	1000	100W	1.084	0.699	0.528	0.424	0.332	0.262

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's CSXW homepage.

Iscotax plots for the CSXW LED 3K/1000/40C. Distances are in units of mounting height (DO).

Helmuth John Hammen Architecture LLC					
HJH Architecture LLC					
SCOTTSDALE AZ 85251 helmu@hjha.com					
8337 E. MONTEREY WAY 602 / 58 7437					
PROJECT ISSUE: SCHEMATIC DESIGN					
DESIGN REVIEW AND PRELIMINARY PRICING ONLY. NOT FOR CONSTRUCTION OR PERMITTING					
11/20/19					
PROJECT NUMBER: 191953					
DRAWN BY: Author					
APPROVED BY: Approver					
BUSHTEX					
BUSHTEX BUILDING					
723 E GUADALUPE RD GILBERTAZ 85233					
Date					
Description					
No.					
SHEET TITLE SITE LIGHTING FIXTURE CUTSHEETS					
E101					



 **LITHONIA
LIGHTING.**
COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • www.lithonia.com
© 2012-2020 Acuity Brands Lighting, Inc. All rights reserved.

Drilling

Template #5

Tenon Mounting Sliprings**

Slipring ID	2 1/8"	2 3/8"	2 7/8"	3 1/8"	3 3/8"	3 7/8"	4 1/8"
2 1/8"	120-130	120-200	120-200	120-210	120-230	120-400	120-400
2 3/8"	120-130	125-200	125-200	125-210	125-230	125-400	125-400
2 7/8"	125-130	125-200	125-200	125-210	125-230	125-400	125-400
3 1/8"	125-130	125-200	125-200	125-210	125-230	125-400	125-400

**For tenon pole mounting (D002) only.
 † Sliprings 9" are 12" tall.

Pole drilling mounting size	2 1/8" hole at 45° degree from handhole (de fault)	2 3/8"	2 7/8"	3 1/8"	3 3/8"	3 7/8"	4 1/8"
D0419	D0426	D0430	D0439	D0449			
1 @ 90°	2 @ 280°	2 @ 90°	3 @ 90°	4 @ 90°			
Sub B	Sub B, C, D	Sub B, C, D	Sub B, C, D	Sub B, C, D	Sub B, C, D	Sub B, C, D	Sub B, C, D

Note: Review formative app chart for specific orientation.

 One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7379) • www.lithonia.com
© 2012-2020 Acuity Brands Lighting, Inc. All rights reserved.

deDesign Group, LLC
Electrical Design and Consulting
2415 East Camelback Road., Suite 700,
Phoenix, AZ 85016
T 602-553-1191 C 602-570-9107
Proj. Mgr: Paul H. Proj. No: 20-027

the street frontage. This is something that is requested within the Cooley Station area. The colors and materials are primarily stucco in a few different shades. Accent materials include smooth face block, split face block, and brick in Fuego Red, which is unique to the area, as well as metal accents in black. Regarding the elevations, staff provided comments on the vertical and horizontal massing and requested a variation of windows as well as another accent color to provide some movement. The north elevation will front Haskell Boulevard and the west elevation will be internal to the site. The east elevation will face Somerton Boulevard and the south elevation will be internal to the site. The applicant has provided updated elevations considering staff's comments, and staff appreciated the modifications made to this point. Staff requested input from the Commission on the site layout and elevations.

DISCUSSION:

Commissioner Cavenee asked if all of the elevations would have the updated color mix.

Ms. Bethel believed so, although staff has only just received this update from the applicant.

Commissioner Cavenee would prefer the updated elevation and felt it was more contrasting and more attractive. Architecturally and from a finish perspective, he felt the updated version was a better look than the previous elevation submitted.

Commissioner September appreciated the updated colors and felt it made a big difference in terms of being more consistent with some of the other buildings in the Cooley Station area. He felt it looked similar to the Crossings at Cooley Station. He agreed with Commissioner Cavenee's comments regarding the updated elevation.

Chair Andersen agreed that the updated elevation was more attractive than what was previously submitted.

5. DR20-47 BUSHTEX: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 3.15 acres, generally located east of the southeast corner of Cooper and Guadalupe Roads, and zoned Light Industrial (LI).

Planner Stephanie Bubenheim presented DR20-47 Bushtex. The site is located east of the southeast corner of Cooper and Guadalupe Roads in the Northwest Employment Area. It is an existing site for a satellite company with existing buildings. This request is for an expansion of a new building. Staff is looking for input from the Commission on the colors, materials, and the articulation of the new building. The new L-shaped building will be 19,840 SF with warehouse, manufacturing and office space. The existing buildings and storage facility will be demolished, except for the main office on the northeast corner of the site, which was originally converted from a single-family residential building.

There are two existing access points along Guadalupe Road and an existing parking area, which is currently nonconforming. Staff is not requesting that the parking be brought up to standards because when Guadalupe Road was widened, it affected the property line. Staff is only asking that it be restriped if needed. Everything else that will be developed on the site will be up to LDC standards for the Light Industrial zoning district. The site currently has an existing service yard that takes up much of the site, and landscaping will only be required along the frontage to the north. There is an existing gated entrance to the east and an additional gated entry will be installed to the west to provide a loop around the site. The colors and materials will be similar to the existing office building that will remain on the site, incorporating metal awnings and a green accent to represent the trademark color for the company. The north elevation with the office area will be seen along Guadalupe Road. That elevation will incorporate windows with awnings above. The south elevation which will be seen from the railroad also has windows. The east elevation will be internal to the site with the loading dock area creating the L shape. The southern portion of the site does not show much articulation and staff is looking for comments from the Commission. The west elevation has recessed areas with windows at in-seams and will be seen from the right-of-way. There is a green banding across the building. The applicant has provided updated elevations to staff as of today. The green banding has been changed from 6" to 8" to provide more proportion to the building

and wing walls have been proposed to provide some movement. The floor plans show the warehouse at the back with storage and offices along the frontage.

DISCUSSION:

Vice Chair Bloomfield felt the proposed plans were unique. He liked the green glass and the banding in the accent color that orients to their business and logo. He appreciated the updates the applicant has made. It was a good move on their part to take staff's suggestions and adapt them quickly. They have always kept a nice facility and this will only add to that. It is pretty blocky and square, but he felt it fits with the modern look and feel they are intending to achieve here.

Commissioner September felt it was a stark contrast going from the Cooley Station color palette to this building. He thought that was okay as this is more of an industrial R&D area. He was delighted to see someone developing this parcel and to see growth in this area. He felt the updated elevations did a nice job of tying in some of the colors as Vice Chair Bloomfield commented. He felt this was definitely a nicer product and will be a nice upgrade to the area.

Commissioner Mundt echoed Commissioner September's comments regarding this area. He felt the color scheme was unique for that type of industrial setting. He felt the south facing wall could look a little more staggered or incorporate some kind of roofing element; however, given that it is facing the railroad tracks, he did not foresee that as a major issue.

Ms. Bubenheim advised that the applicant is requesting to submit Construction Documents at risk. As the applicant incorporates the comments from staff as well as the Commission, staff would allow them to proceed with CDs at risk.

6. Discussion of Regular Meeting Agenda:

It was suggested to move the following items from the Non-Consent to the Consent Calendar if there are no requests to speak from the public on those items: 15. GP19-15 Lifetime South Gilbert, 16. Z19-27 Lifetime South Gilbert, 17. DR19-201 Service First Automotive Center, 18. GP20-01 CBRE Green Expansion, and 19. Z20-01 CBRE Green Expansion. The Commissioners agreed.

ADJOURN STUDY SESSION

With no further business before the Commission, Chair Andersen adjourned the Study Session at 6:00 p.m.

Brian Andersen, Chairman

ATTEST:

Dana Desing, Recording Secretary